

14 BAY ST, DOUBLE BAY  
COMMERCIAL + MULTI-RESIDENTIAL DEVELOPMENT

NO.	DRAWING NAME	SCALE	
DA 1.00	Cover Page + Drawing List	NTS	G
DA 1.01	Context Analysis	1:4000	F
DA 1.02	Context Analysis - Built Form	NTS	F
DA 1.03	Site Analysis	1:500	F
DA 1.04	Existing Buildings + Controls	1:200	F
DA 1.05	Context - Recent Approvals	1:500	F
DA 1.06	Context - Part Wall Conditions	NA	F
DA 1.07	Context - HOB Comparison	1:500	F
DA 1.08	Context - Unit 4.1 Terrace	1:200	F
DA 1.10	FSR Calculations	1:200	F
DA 2.00	Plan - Ground + Level 1	1:100	F
DA 2.01	Plan - Level 2 + 3	1:100	F
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DA 3.04	Section A	1:100	G
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DA 4.01	Photomontage	NTS	G
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DA 5.01	Solar Access - Proposed Equinox	1:500	G
DA 5.02	Hourly June 21 Shadows (Sheet 1)	1:500	G
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DA 5.04	Hourly June 21 Shadows (Sheet 3)	1:500	G
DA 6.00	View Analysis 1 - Unit 4.1 Terrace East	NTS	G
DA 6.01	View Analysis 2 - Unit 4.1 Terrace East	NTS	G



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		A	2/9/20	DA SUBMISSION			Bay Street	Cover Page + Drawing List						
		F	19/4/22	Joint Report			14 Bay St, Double Bay	JOB NO	DRAWN	SCALE				
		G	28/4/22	Revised terrace to Bay Street				19.53	MR	1:2000				
									CLIENT	DATE	CHECKED	PLOT DATE		
									Halepa Holdings	Sept 2020	PT	28/4/22		
												DRAWING NO.		
												DA 1.00		
												REVISION		
												G		





The site at 14 Bay Street is located in the important regional centre of Double Bay. Within a 5/10 minute / 400/800 metres are Edgecliff train station and bus interchange, the main Double Bay shopping areas, Edgecliff commercial centre and Double Bay Wharf. These centres contain many services for the benefit of residents and workers. Since the village of Double Bay was established in the 1830's, the area's urban development continues to evolve as a heterogeneous mix of major retail and entertainment, mixed use buildings of all types and sizes, with a range of apartment buildings and some remnant individual houses fringing the centre.

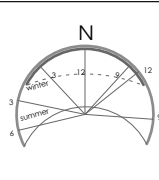
The site has easy access to Sydney's city centre, to multiple transport modes, shops, many public facilities and open spaces, and thus is well suited to this proposal as it provides high levels of amenity in an established and diverse neighbourhood.

taken from the **Design Quality Statement**

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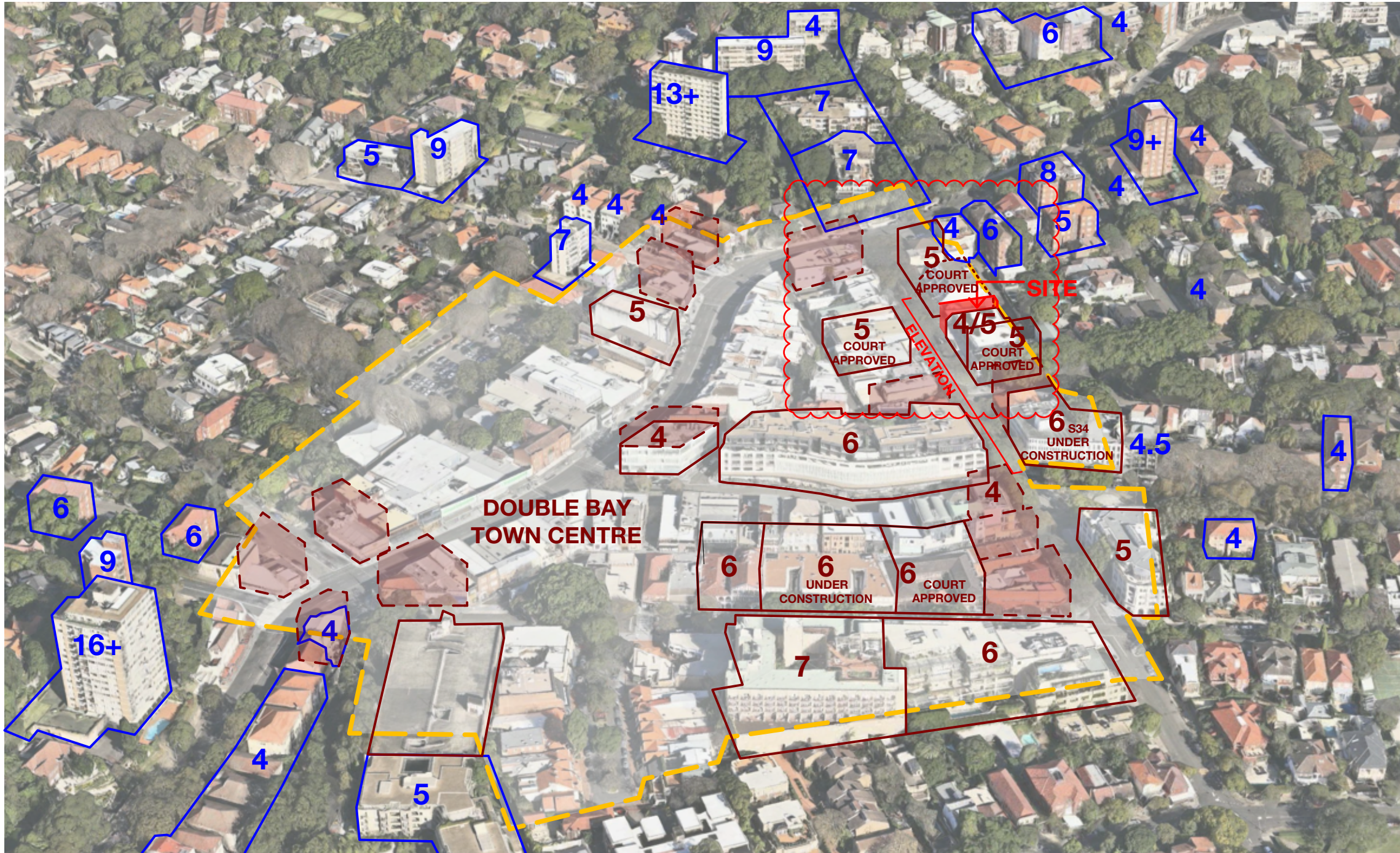
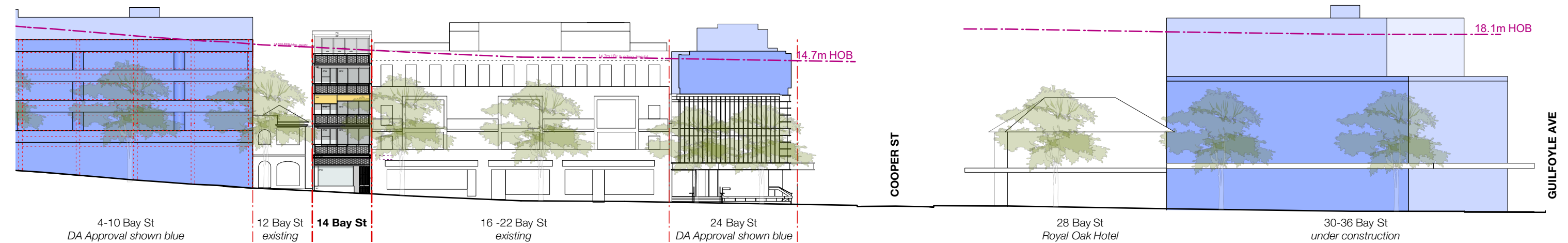
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PROJECT
<b>Bay Street</b> 14 Bay St, Double Bay
CLIENT Halepa Holdings

DRAWING TITLE			
<b>Context Analysis</b>			
JOB NO 19.53	DRAWN MR	SCALE 1:4000@A3	DRAWING NO. <b>DA 1.01</b>
DATE Sept 2020	CHECKED PT	PLOT DATE 19/4/22	REVISION <b>F</b>





The site sits within the Double Bay Town Centre boundary at the southern end of Bay St.

Double Bay has seen a number of new developments and planning changes since the Double Bay Centre DCP was adopted by Council in 2004 (Hill Thalys were Council's consultant, starting work on the revised planning controls in 1998). This DCP has now largely been incorporated into the 2015 Woollahra DCP, with some increases in height and FSR.

A number of new buildings have been built to the 4 and 5 storey heights stipulated in the DCP, however a group of 6 storey buildings is nearing completion along Cross Street. Nearby 5 and 6 storey buildings are already approved along Bay Street. Bay St South has a number of recently approved 5 storey proposals as sites become amalgamated. Height and FSR of recently approved proposal are analysed in the following drawings.



Heights noted on the adjacent perspective are in storeys. Based on available information.

**Built form in storeys within the town centre**

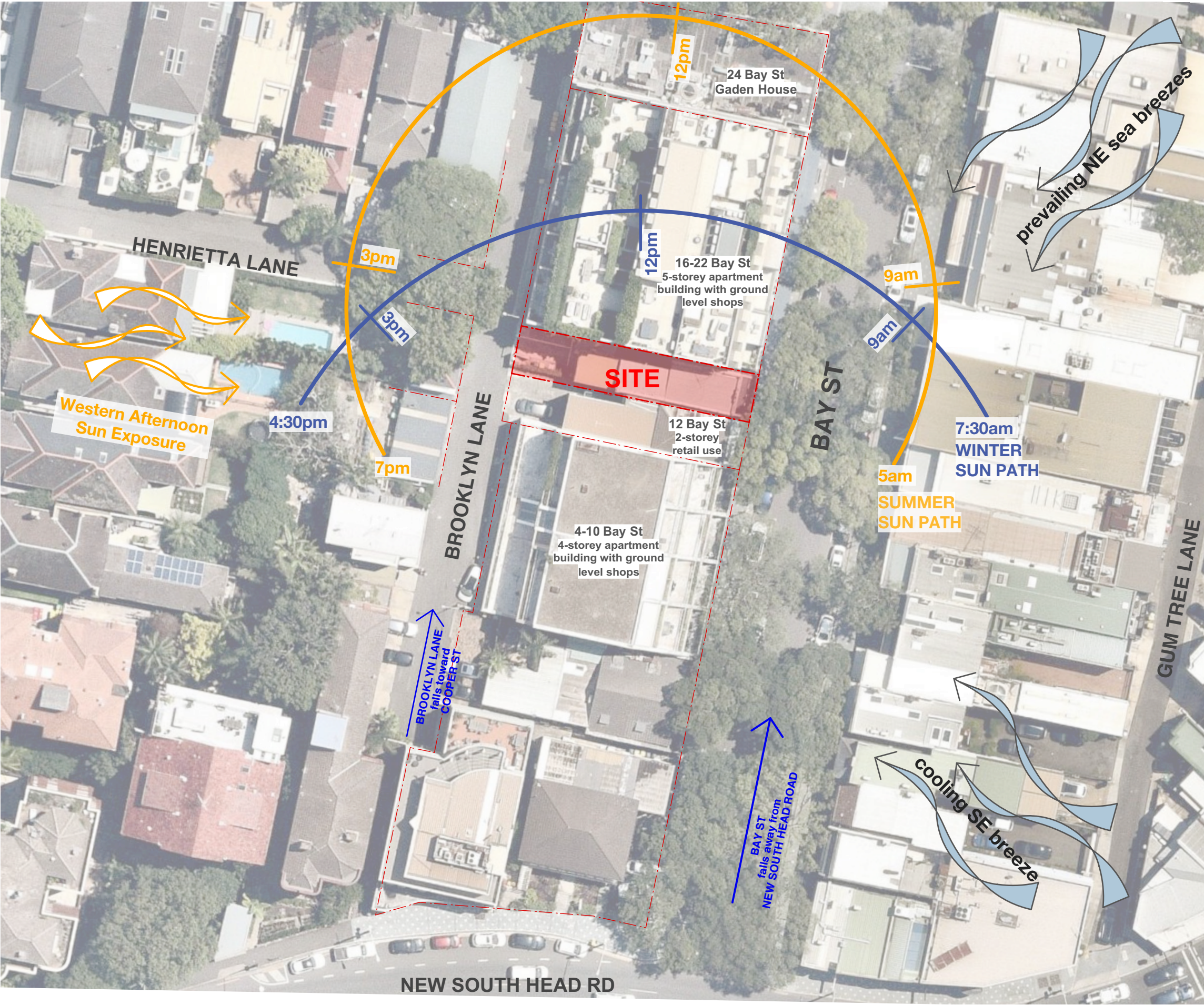
**Built form in storeys outside of the town centre**

 Identified prominent corner buildings with bonus FSR

--- outline of original DA submission

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CLIENT Halepa Holdings		JOB NO 19.53		DRAWN MR	SCALE 1:400 Section	DRAWING NO. <b>DA 1.02</b>		DATE Sept 2020	
		CHECKED PT		PLOT DATE 19/4/22		REVISION		<b>F</b>	

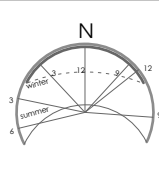




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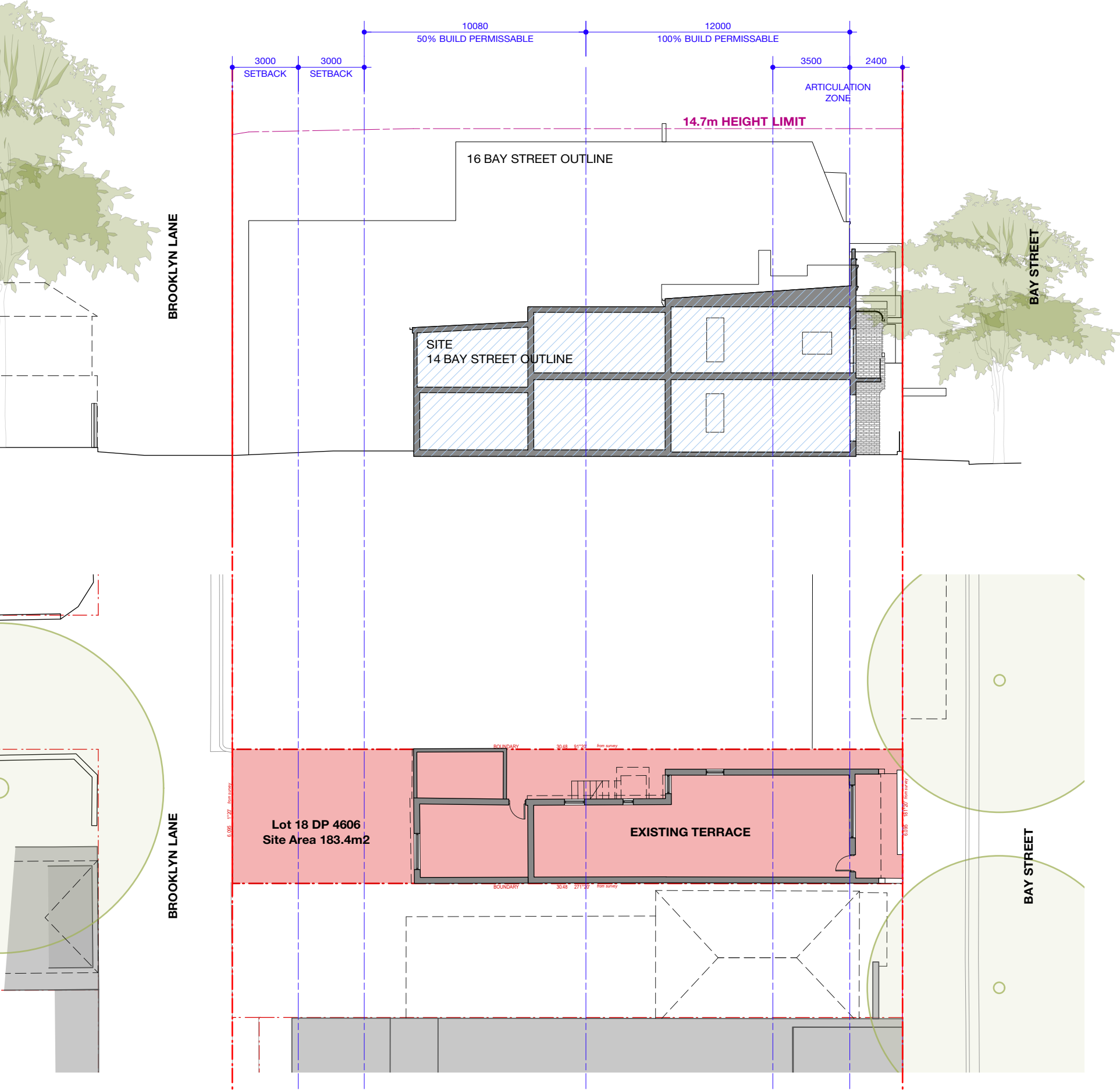
ABSAR  
Australian Building Sustainability Assessment System  
Accreditation No. 21000000-0100000001  
Member from: Planning & Design  
Member Number: 1000000  
Member Expires: 31/03/2025  
www.absar.gov.au

0005233910 29 Apr 2022  
Assessor: Padraig Healy  
Accreditation No. 101026  
Address: 14 Bay Street, Double Bay, NSW, 2028  
www.hstar.com.au

PROJECT <b>Bay Street</b> 14 Bay St, Double Bay
CLIENT Halepa Holdings

DRAWING TITLE			
			<b>Site Analysis</b>
JOB NO 19.53	DRAWN MR	SCALE 1:500@A3	DRAWING NO. <b>DA 1.03</b>
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Bay St  
Existing Elevation



Brooklyn Lane  
Existing Elevation



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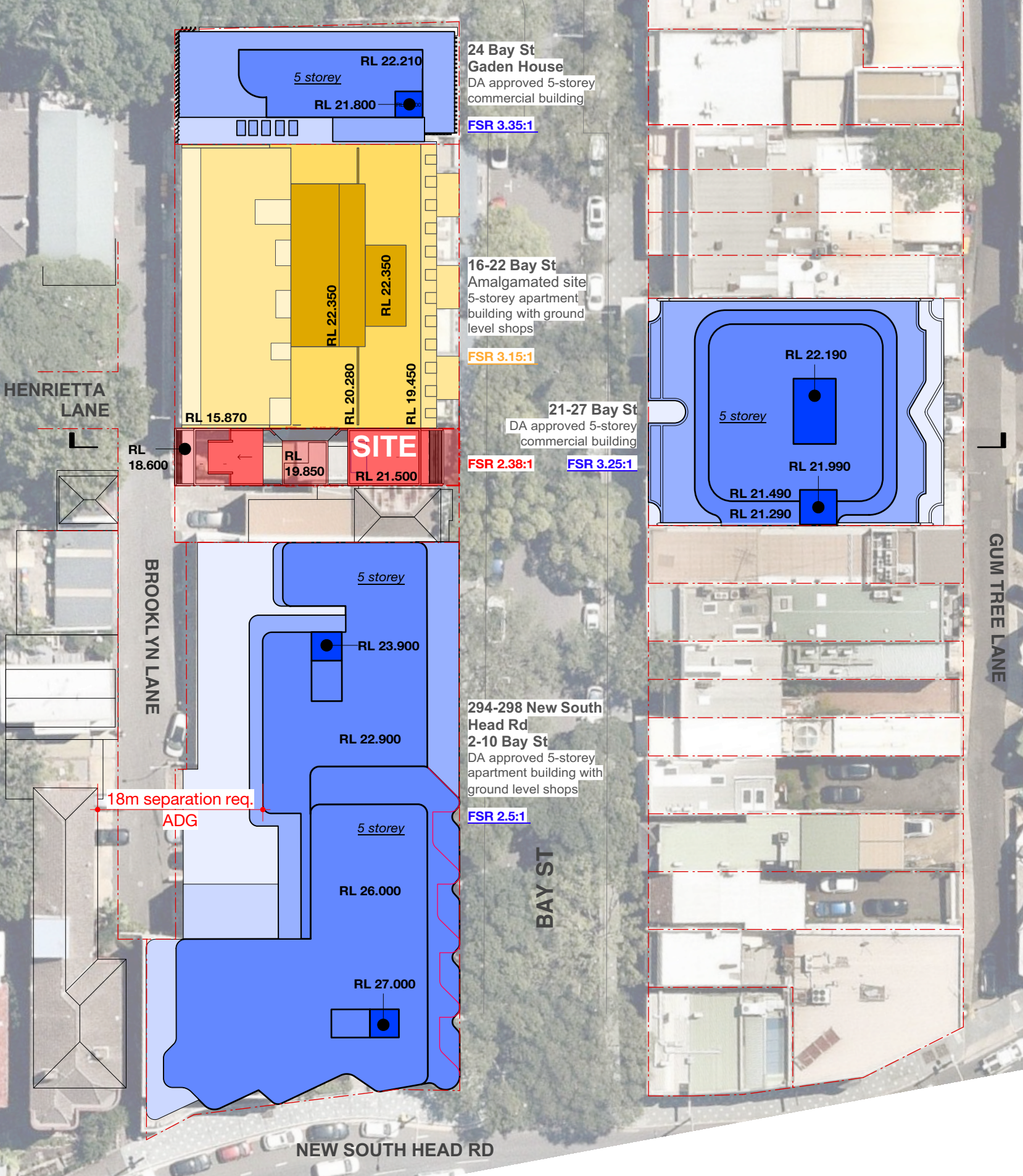
PROJECT  
**Bay Street**  
14 Bay St, Double Bay

CLIENT  
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DRAWING TITLE  
**Existing Building + Controls**

JOB NO	DRAWN	SCALE	DRAWING NO.
19.53	MR	1:200@A3	<b>DA 1.04</b>
DATE	CHECKED	PLOT DATE	REVISION
Sept 2020	PT	19/4/22	<b>F</b>





**D5.4.4 Bay Street South**

Desired future character:  
a) Retain the existing modest, lot related building widths and retail frontages.

West side of Bay Street south - few original lots remaining

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19/1/22

7/3/22

5/4/22

19/4/22

AMENDMENT

SECTION 34 CONFERENCE

POST SECTION 34 CONFERENCE

Conference of Expert Witnesses

Joint Report

ABSASignatory

Accreditation No. 101026

Assessor: Padraig Healy

Address: 14 Bay Street, Double Bay, NSW, 2028

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PROJECT

**Bay Street**

14 Bay St, Double Bay

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Halepa Holdings



DRAWING TITLE

**Context - Recent Approvals**

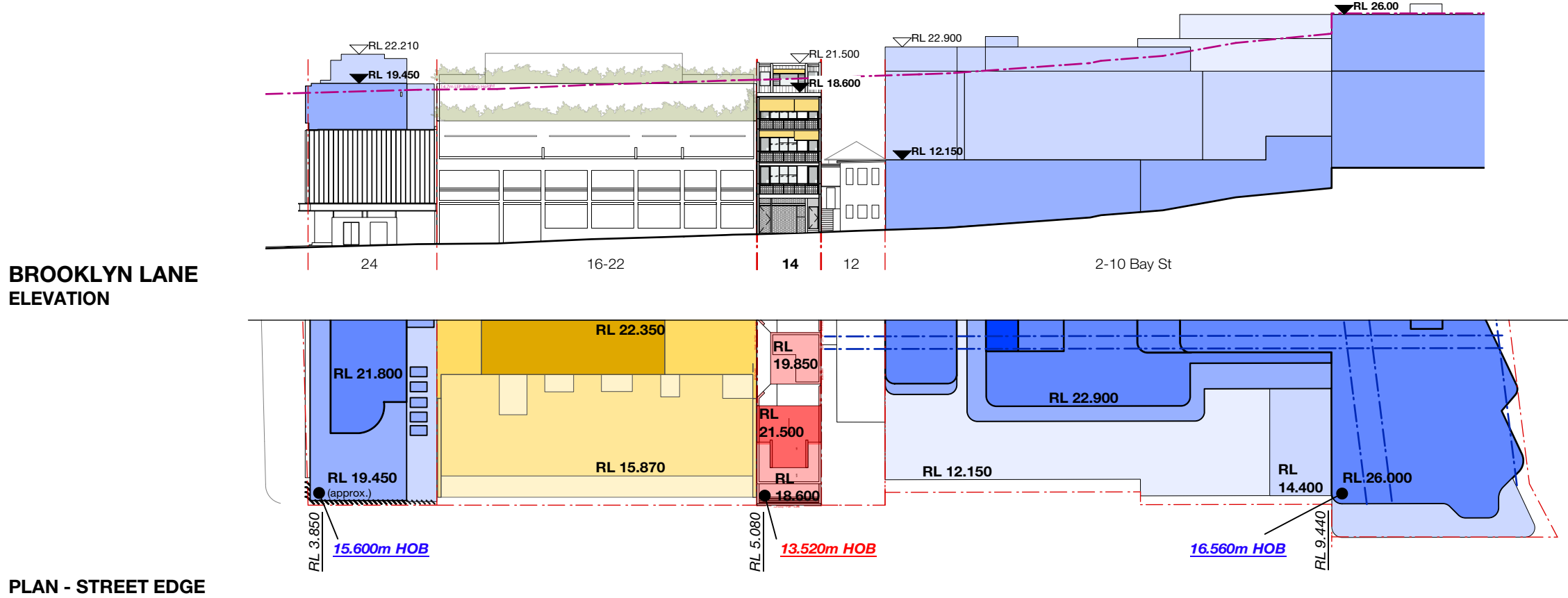
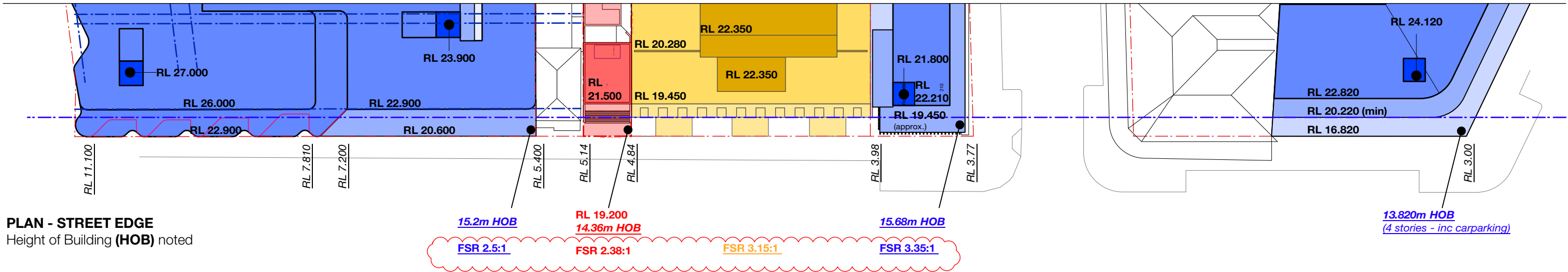
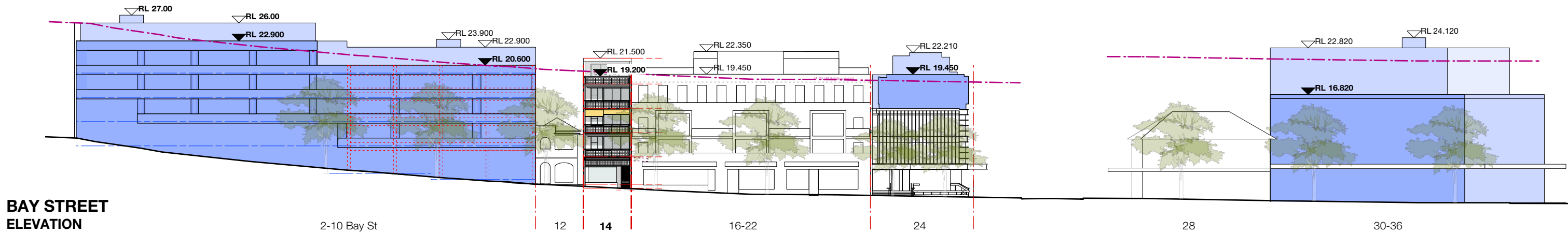
JOB NO	DRAWN	SCALE	DRAWING NO.
19.53	MR	1:500@A3	<b>DA 1.05</b>
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		5/4/22	Conference of Expert Witnesses				JOB NO 19.53	DRAWN MR	SCALE NA	DRAWING NO. <b>DA 1.06</b>
		19/4/22	Joint Report				ASSESSOR: Padraig Healy Accreditation No. 101026 Address: 14 Bay Street, Double Bay, NSW, 2028 hstar.com.au	DATE Sept 2020	CHECKED PT	PLOT DATE 19/4/22





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**MATERIALS LEGEND**

AFW

ALUMINIUM FRAMED WINDOW

AW

AWNING, STEEL FRAME

BAL1

BALUSTRADE TO NCC

BAL2

BALUSTRADE TO NCC WITH GB INFILL

CLD

STEEL POWDERCOAT W. STEEL MESH/ROD INFILL

CLD

CLADDING

GB

CEMENTEL SURROUND, WHITE-BASE FC CLADDING

HR

GLASS BLOCKS

MR

HANDRAIL TO NCC, POWDERCOATED STEEL

LV

METAL ROOF

LV

HORIZONTAL LOUVRES

MCL

METAL CLADDING

MC

METAL CAPPING

PC

PREFCAST CONCRETE

PC-R

PREFCAST CONCRETE, RECKLI WAVE TEXTURE

PLD

PANEL LIFT DOOR

RC

OFF FORM REINFORCED CONCRETE

SC

SOLAR COLLECTORS

SCR

METAL SCREEN MESH

SF

STEEL FRAME, POWDERCOATED

SG

STEEL GATE, RODS + FRAME

TF

TILE FINISH

VB

VERTICAL FABRIC EXTERNAL BLIND

PROJECT

**Bay Street**

14 Bay St, Double Bay

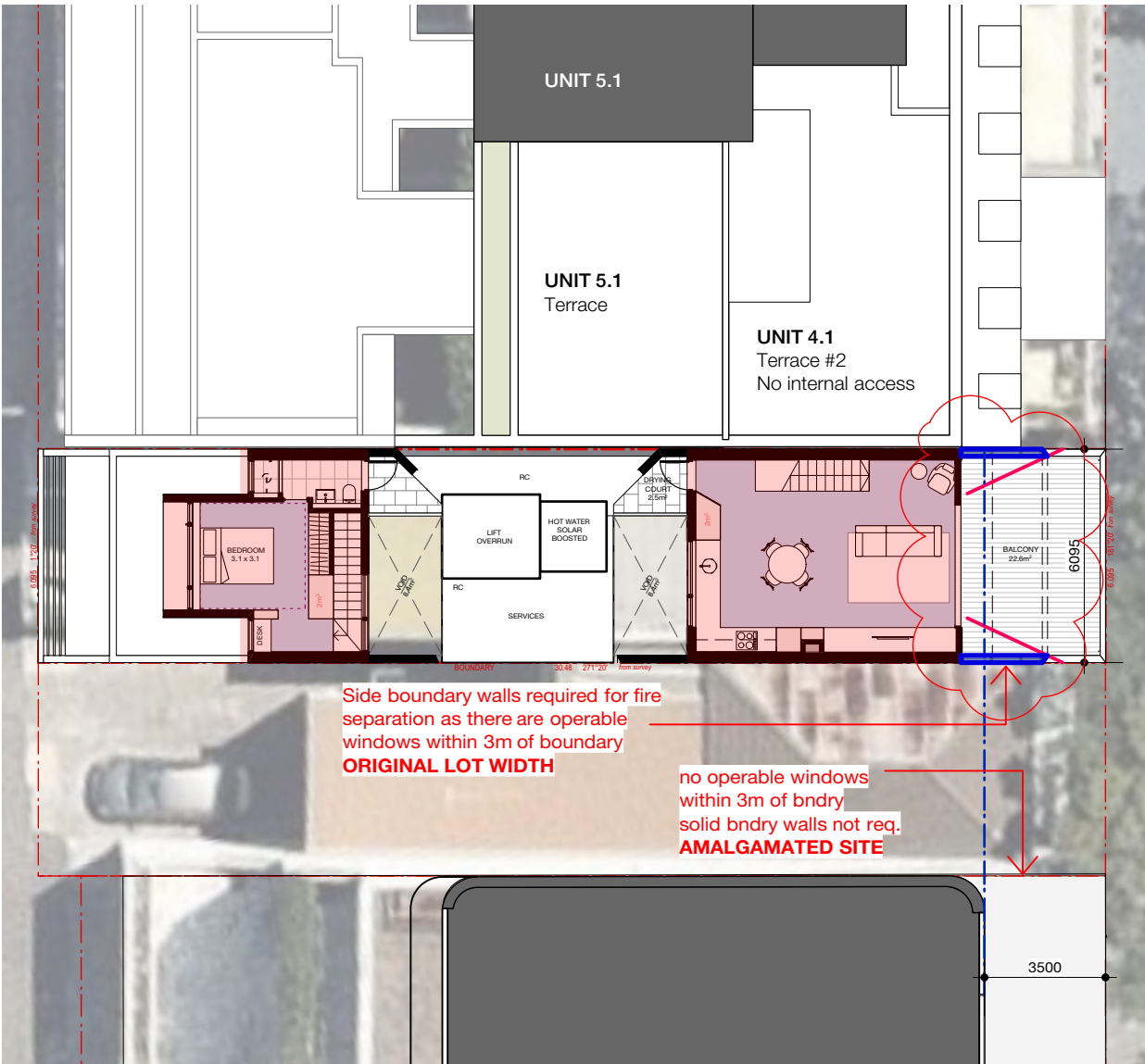
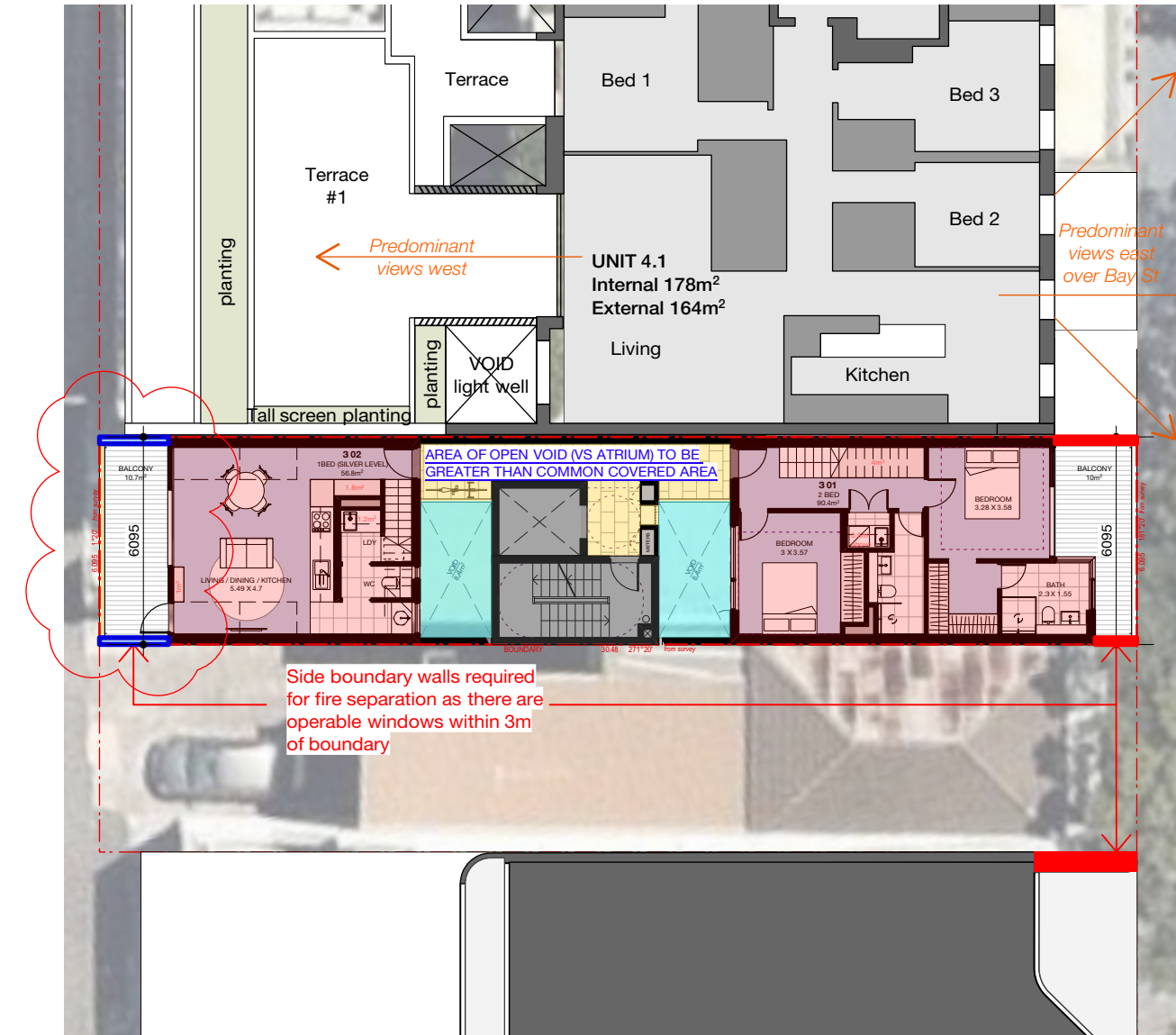
CLIENT

Halepa Holdings

DRAWING TITLE			
Context - HOB + FSR Comparison			
JOB NO	DRAWN	SCALE	DRAWING NO.
19.53	MR	1:500@A3	<b>DA 1.07</b>
DATE	CHECKED	PLOT DATE	REVISION
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- DA Approved building outlines
- Existing amalgamated site
- 14 Bay St site
- RL's on Bay St, NO setback to top of parapet / wall
- RL's setback to top of parapet / wall





UNIT 4.1 Terrace # 1



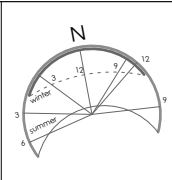
UNIT 4.1 Terrace # 2



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PROJECT	Bay Street 14 Bay St, Double Bay
CLIENT	Halepa Holdings

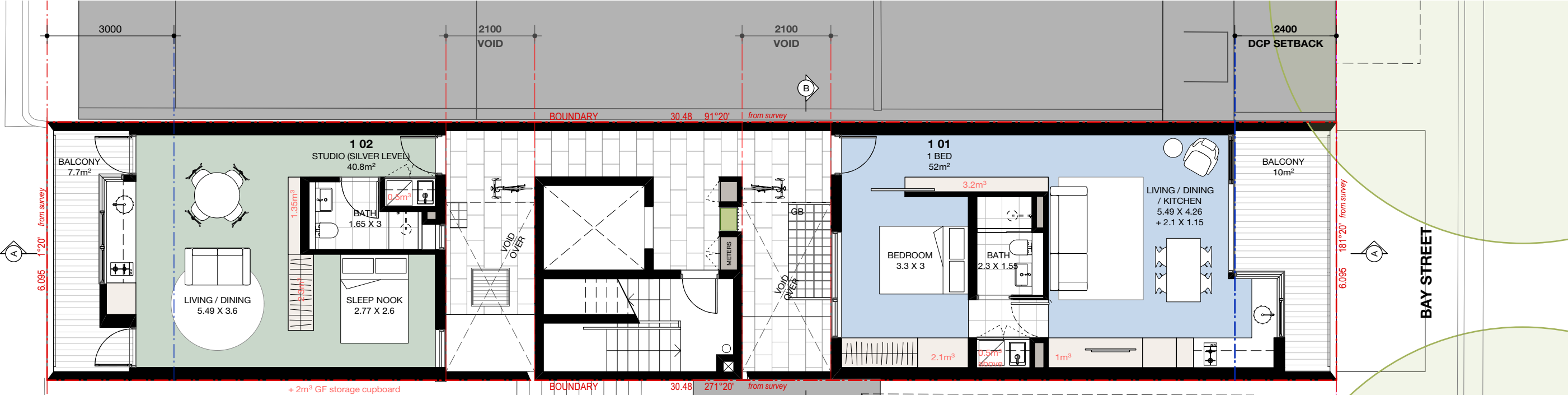
DRAWING TITLE <b>Context - Unit 4.1 Terrace</b>			
JOB NO 19.53	DRAWN MR	SCALE 1:200@A3	DRAWING NO. <b>DA 1.08</b>
DATE Sept 2020	CHECKED PT	PLOT DATE 19/4/22	REVISION <b>F</b>







LEVEL 1



**BASIX requirements**

**Water**  
Rainwater Tank  
Landscape connection  
Water Taps  
Showerheads  
Toilet Flusher  
Dishwasher

1000L  
Yes  
6-stars  
3-stars (4.5-6 L/min)  
4-stars  
3.5-star dishwasher

**Thermal Comfort**  
Fixed/Sliding Glazing  
Awning/Bi-Fold Glazing  
External Walls  
Internal Walls  
Ceiling Cavity  
Exposed Roof

U-value 5.4 & SHGC 0.58 (+/- 10%)  
U-value 5.4 & SHGC 0.49 (+/- 10%)  
Type: Concrete  
Type: Stud  
Type: Plasterboard  
Type: Concrete

Insulation: R2.5 bulk  
Insulation: Nil  
Insulation: R4.0 bulk  
Insulation: Nil

**Energy Common Areas:**  
Lighting  
Lifts  
Ventilation  
Hot Water

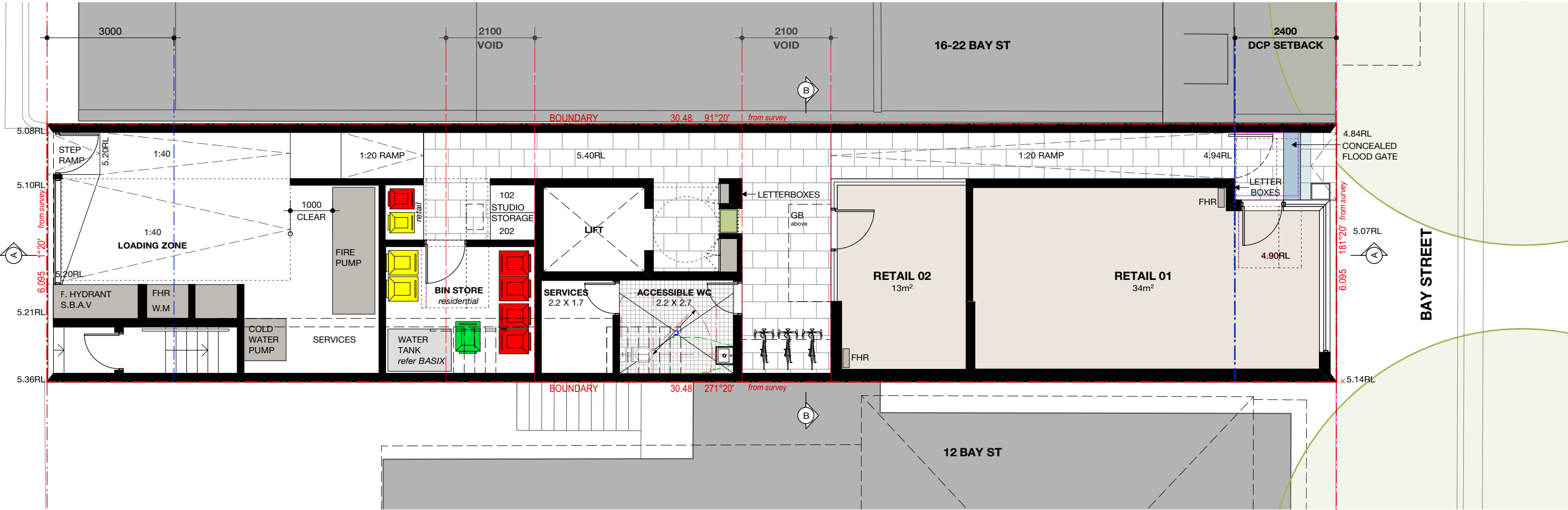
LED's throughout with motion sensors  
VWVF motor  
Exhaust only to Acc WC and bin store  
Solar – \_electric boosted (5m2 solar collector)

**Dwellings:**  
Heating/Cooling  
Lighting  
Ventilation

Appliances  
Fridge Space  
Photovoltaics

Ceiling fans only to living rooms  
Laundry & WC fan ducted to façade and interlocked to light  
Kitchen fan ducted to façade with manual switch  
Electric cooktop & electric oven; 3-star dishwashers; 2-stars dryers  
Well ventilated  
3.2 peak kW's

GROUND



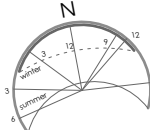
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SECTION 34 CONFERENCE  
Joint Report



PROJECT

**Bay Street**  
14 Bay St, Double Bay

CLIENT

Halepa Holdings

DRAWING TITLE

**Plan - Ground + Level 1**

JOB NO

19.53

DRAWN

MR

SCALE

1:100@A3

DRAWING NO.

**DA 2.00**

DATE

Sept 2020

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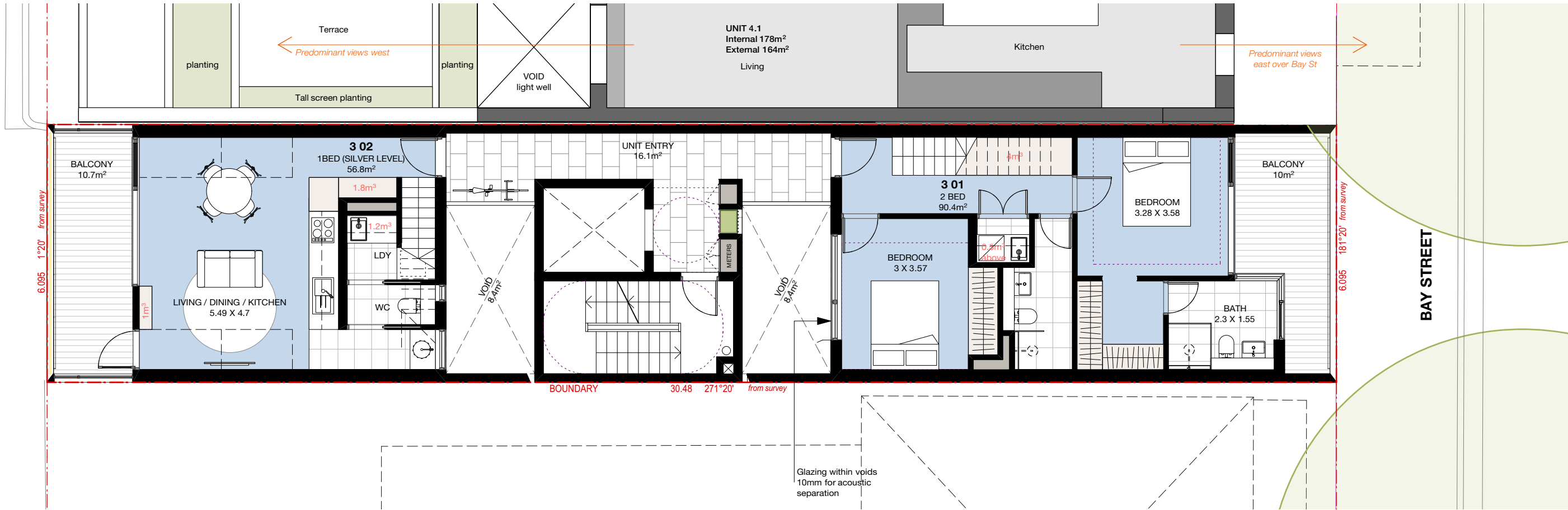
19/4/22

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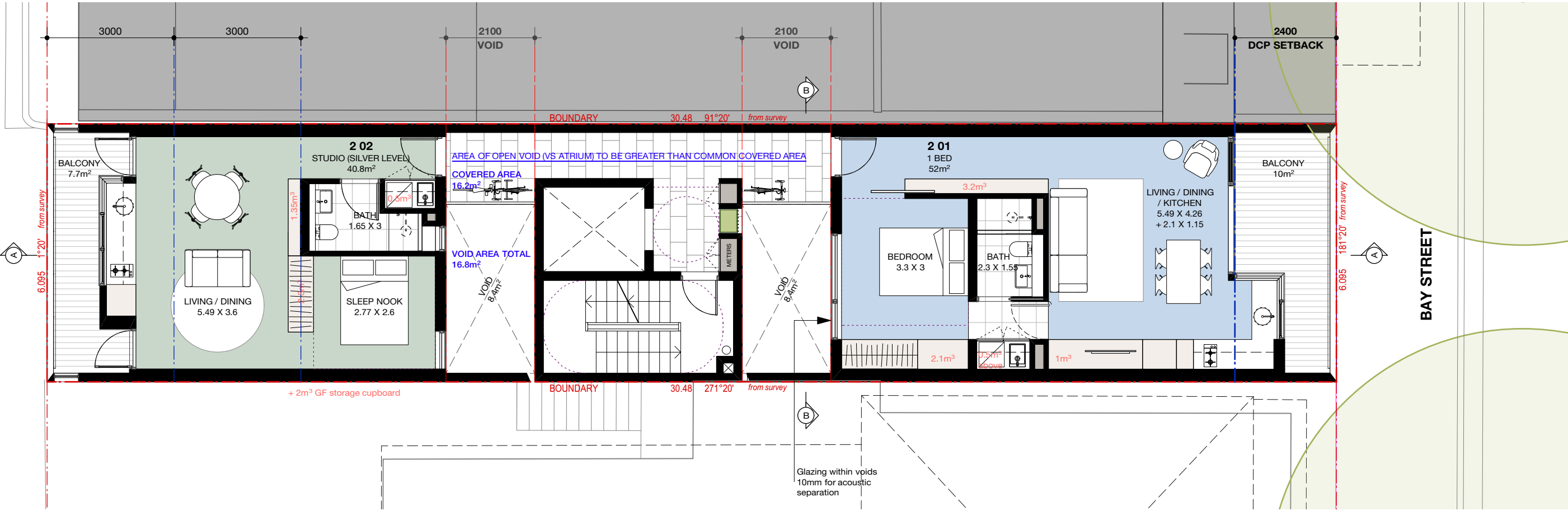
**F**



LEVEL 3



LEVEL 2



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19/1/22  
19/4/22

AMENDMENT

DA SUBMISSION  
REVISED DA SUBMISSION  
SECTION 34 CONFERENCE  
Joint Report

ABSAR

Accreditation No. 310302022-310302023

Assessor Name: P. H. H. H.

Assessor Number: 101026

Assessor Signature: P. H. H. H.

5.3

Average star rating

NATIONWIDE HOUSE

0005233910 29 Apr 2022

Assessor: P. H. H. H.

Accreditation No. 101026

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PROJECT

**Bay Street**

14 Bay St, Double Bay

CLIENT

Halepa Holdings

DRAWING TITLE

**Plan - Level 2 + 3**

JOB NO

19.53

DRAWN

MR

SCALE

1:100@A3

DRAWING NO.

**DA 2.01**

DATE

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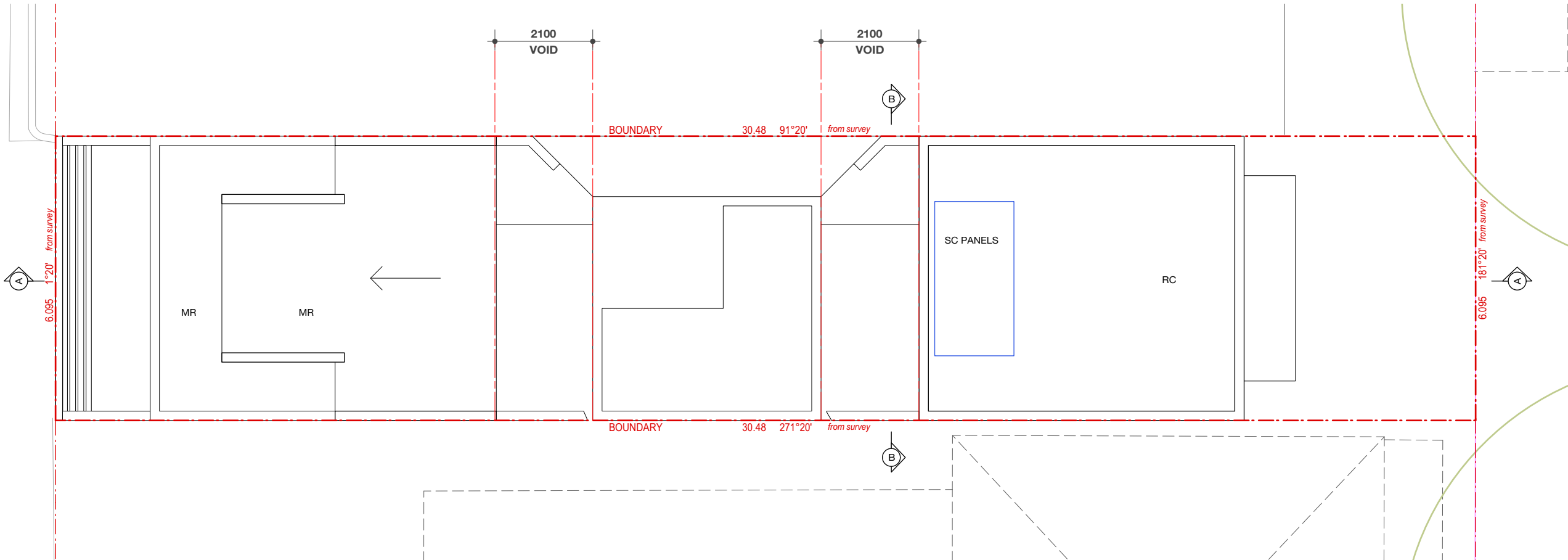
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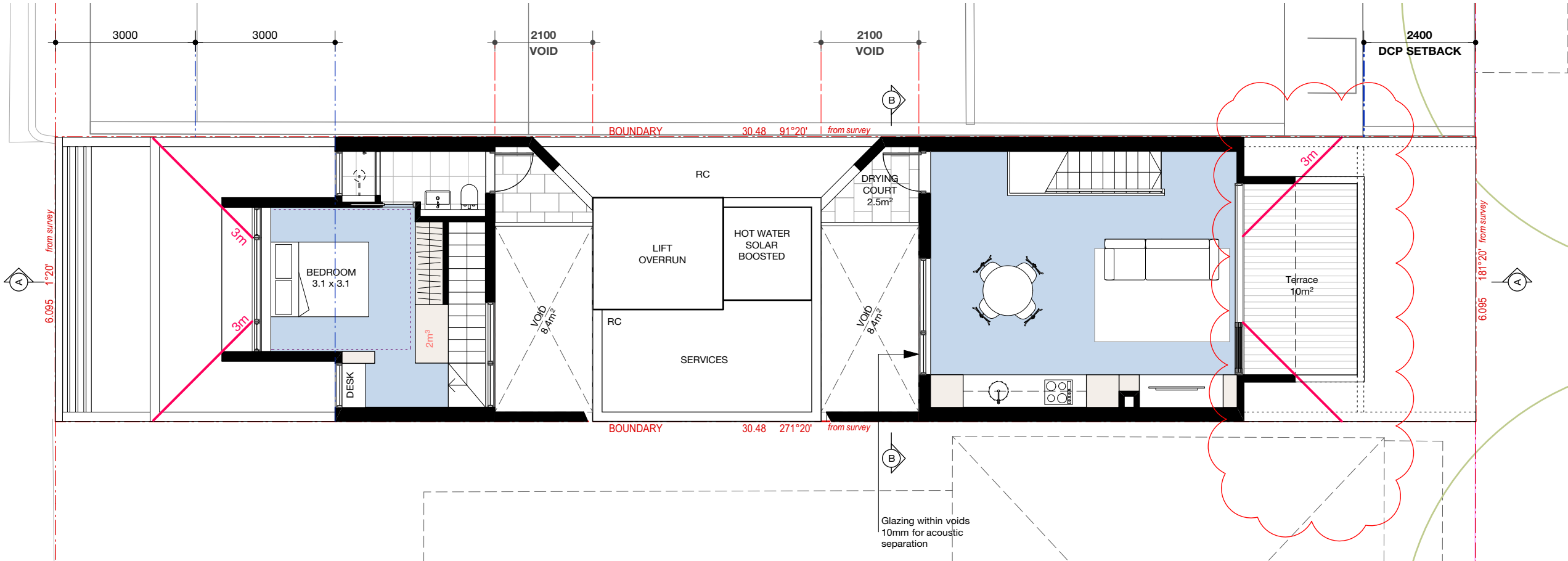
**F**



ROOF



LEVEL 4



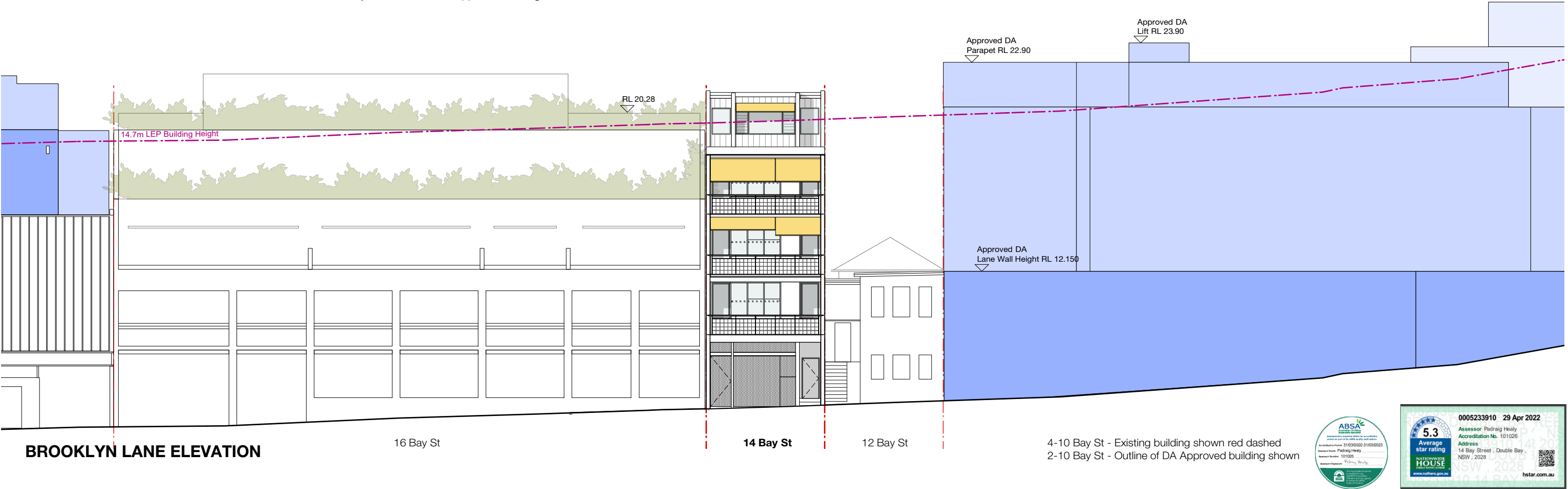
<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah HSB #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>		REV	DATE	AMENDMENT			PROJECT			
		A	2/9/20	DA SUBMISSION			JOB NO	DRAWN	SCALE	DRAWING NO.
		B	29/4/21	REVISED DA SUBMISSION			19.53	MR	1:100@A3	DA 2.02
		C	19/1/22	SECTION 34 CONFERENCE			DATE	CHECKED	PLOT DATE	REVISION
		D	5/4/22	Conference of Expert Witnesses			Sept 2020	PT	27/4/22	G
		E	19/4/22	Joint Report						
		F	27/4/22	Revised Terrace to Bay Street						





BAY STREET ELEVATION

4-10 Bay St - Existing building shown red dashed  
2-10 Bay St - Outline of DA Approved building shown



BROOKLYN LANE ELEVATION

4-10 Bay St - Existing building shown red dashed  
2-10 Bay St - Outline of DA Approved building shown



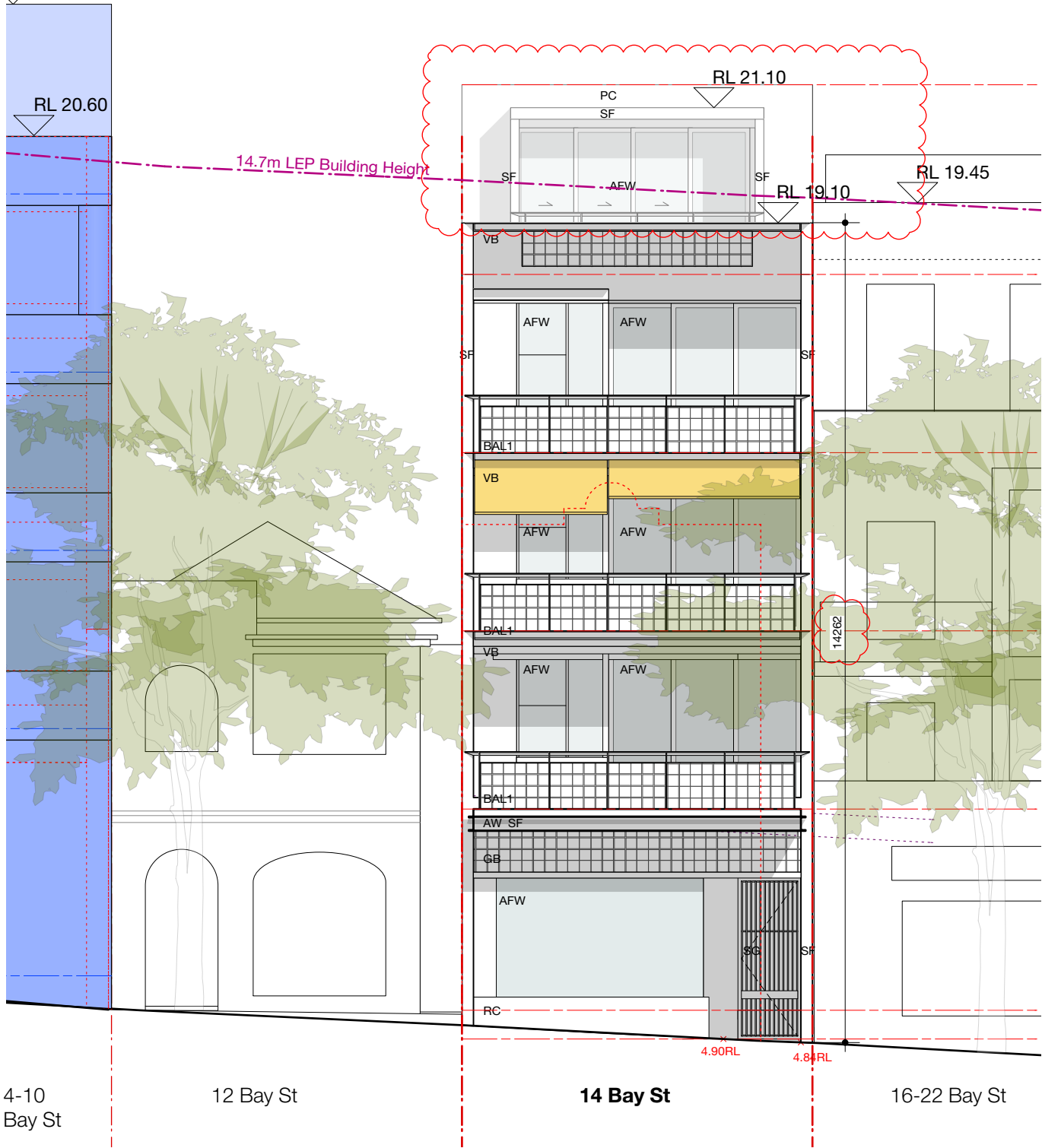
ARCHITECTS: <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY LEVEL 4, 68/72 Wentworth Ave Surry Hills, NSW 2010 Australia T 02 9211 6276 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #6780 Sarah H8 #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div>	REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div><div>AFW</div><div>AW</div><div>BAL1</div><div>BAL2</div><div>CLD</div><div>GB</div><div>HR</div><div>MR</div><div>LV</div><div>MCL</div><div>MC</div><div>PC</div><div>PC-R</div><div>PLD</div><div>RC</div><div>SC</div><div>SCR</div><div>SF</div><div>SG</div><div>TF</div><div>VB</div></div> <div><div>ALUMINIUM FRAMED WINDOW</div><div>AWNING, STEEL FRAME</div><div>BALUSTRADE TO NCC</div><div>STEEL, POWDERCOAT WITH GB INFILL</div><div>BALUSTRADE TO NCC</div><div>STEEL, POWDERCOAT W. STEEL MESHROD INFILL</div><div>CEMINTEL SURROUND, WHITE-BASE FC CLADDING</div><div>GLASS BLOCKS</div><div>HANDRAIL TO NCC, POWDERCOATED STEEL</div><div>METAL ROOF</div><div>HORIZONTAL LOUVRES</div><div>METAL CLADDING</div><div>METAL CAPPING</div><div>PRECAST CONCRETE</div><div>PRECAST CONCRETE, RECKLI WAVE TEXTURE</div><div>PANEL LIFT DOOR</div><div>OFF FORM REINFORCED CONCRETE</div><div>SOLAR COLLECTORS</div><div>METAL SCREEN MESH</div><div>STEEL FRAME, POWDERCOATED</div><div>STEEL GATE, RODS + FRAME</div><div>TILE FINISH</div><div>VERTICAL FABRIC EXTERNAL BLIND</div></div>	PROJECT				DRAWING TITLE										
						Bay Street				Elevations - Street									
						14 Bay St, Double Bay													
						CLIENT													
						Halepa Holdings													
				JOB NO				DRAWN				SCALE				DRAWING NO.			
				19.53				MR				1:200@A3				DA 3.00			
				DATE				CHECKED				PLOT DATE				REVISION			
				Sept 2020				PT				27/4/22				G			



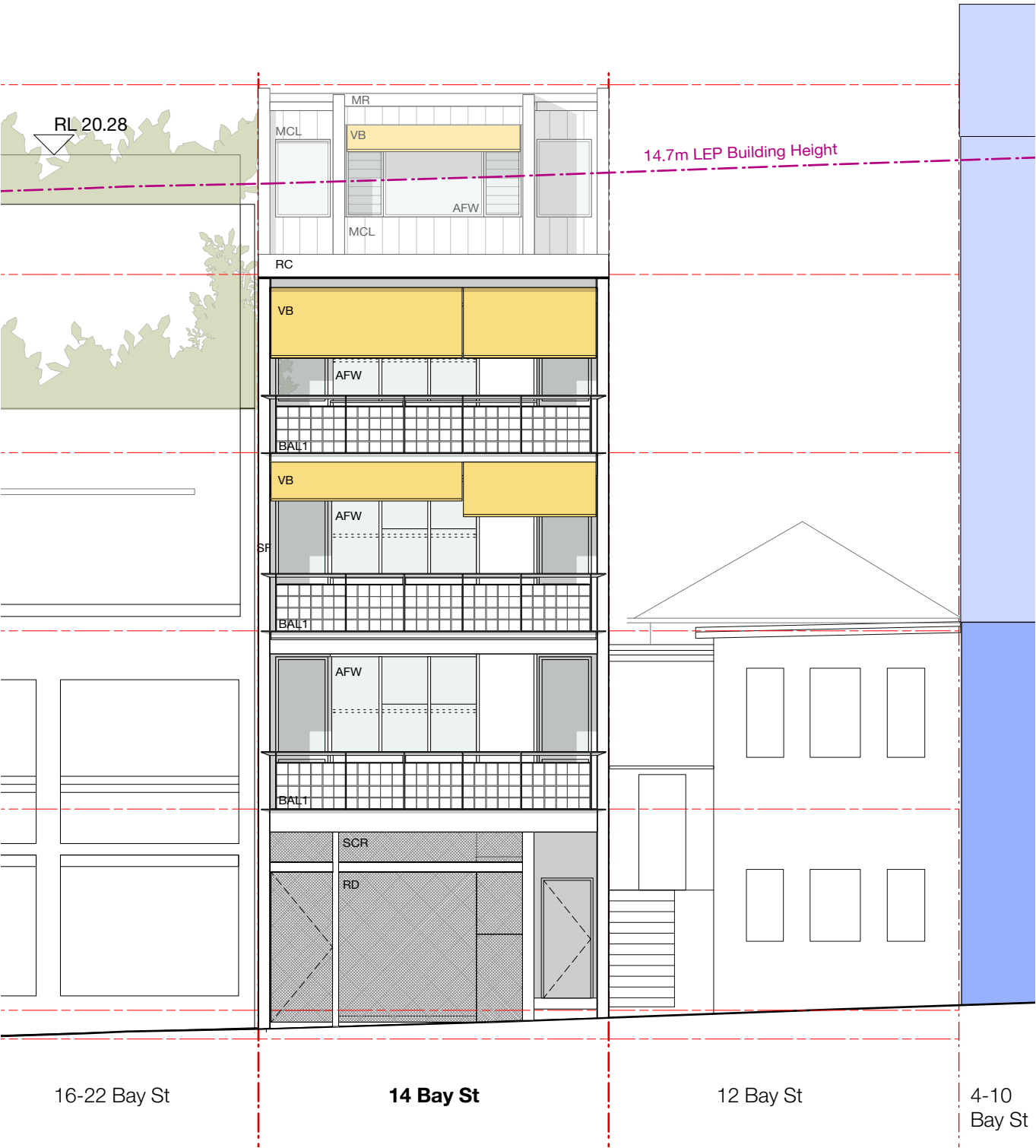
BAY STREET  
ELEVATION



Approved DA  
Parapet RL 22.90

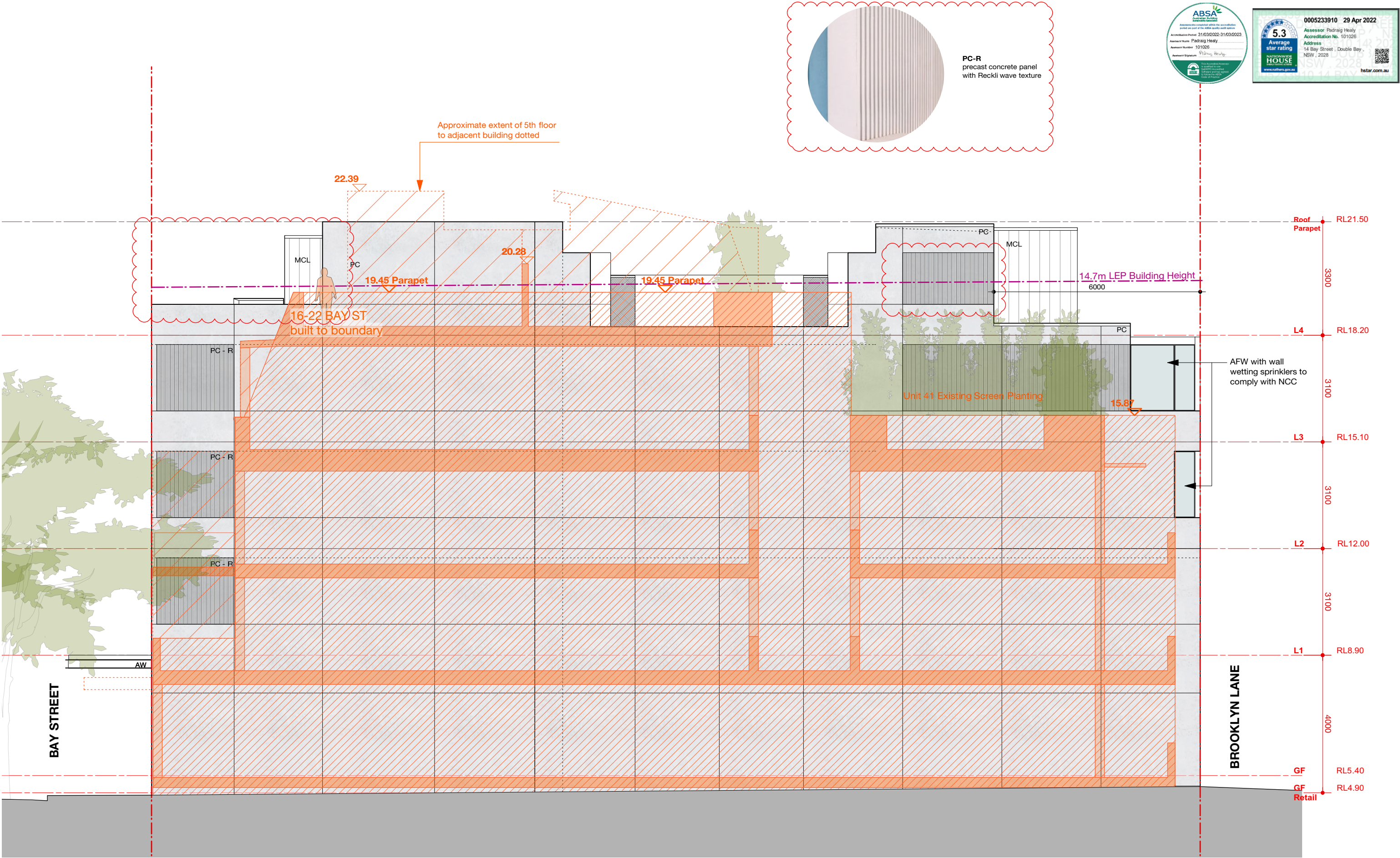


BROOKLYN LANE  
ELEVATION



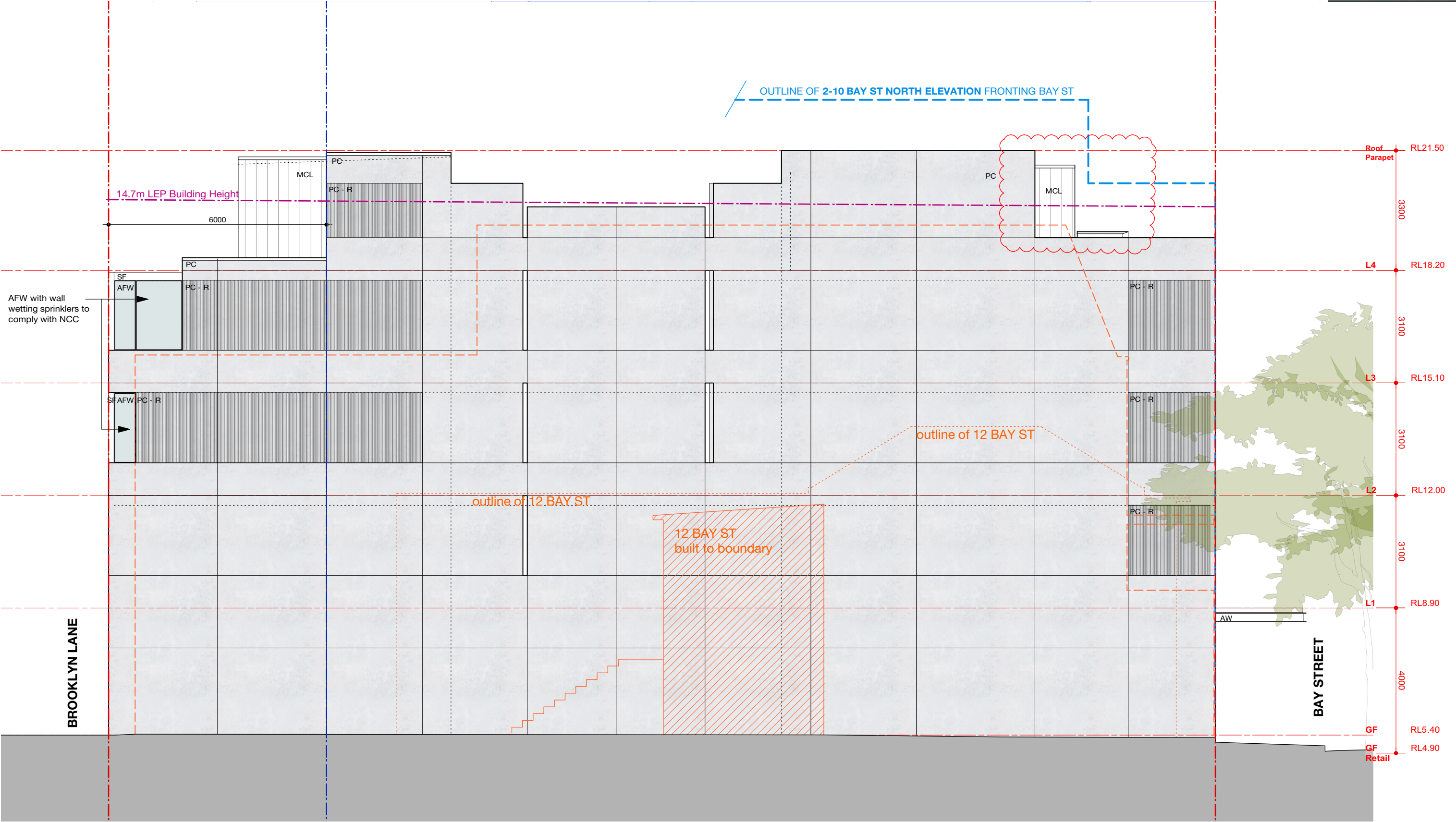
ARCHITECTS: <b>hill thalis</b> ARCHITECTURE + URBAN PROJECTS PTY LEVEL 4, 68/72 Wentworth Drive Surrey Hills NSW 2015 Australia T 02 9211 6276 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #6780 Sarah Hill #5285		REV DATE AMENDMENT A 2/9/20 DA SUBMISSION B 29/4/21 REVISED DA SUBMISSION C 19/1/22 SECTION 34 CONFERENCE D 25/1/22 UPDATED SECTION 34 CONFERENCE E 5/4/22 Conference of Expert Witnesses F 19/4/22 Joint Report G 27/4/22 Revised terrace to Bay Street		MATERIALS LEGEND AFW ALUMINIUM FRAMED WINDOW AW AWNING, STEEL FRAME BAL1 BALUSTRADE TO NCC BAL2 BALUSTRADE TO NCC CLD CLADDING GB GLASS BLOCKS HR HANDRAIL TO NCC, POWDERCOATED STEEL MR METAL ROOF LV HORIZONTAL LOUVRES MCL METAL CLADDING MC METAL CAPPING PC PRECAST CONCRETE, RECKLI WAVE TEXTURE PC-R PANEL LIFT DOOR PLD OFF FORM REINFORCED CONCRETE RC SOLAR COLLECTORS SCR METAL SCREEN MESH SF STEEL FRAME, POWDERCOATED SG STEEL GATE, RODS + FRAME TF TILE FINISH VB VERTICAL FABRIC EXTERNAL BLIND		PROJECT <b>Bay Street</b> 14 Bay St, Double Bay CLIENT Halepa Holdings		DRAWING TITLE <b>Elevations - East + West</b> JOB NO 19.53 DRAWN MR SCALE 1:100@A3 DRAWING NO. DA 3.01 DATE Sept 2020 CHECKED PT PLOT DATE 27/4/22 REVISION G			
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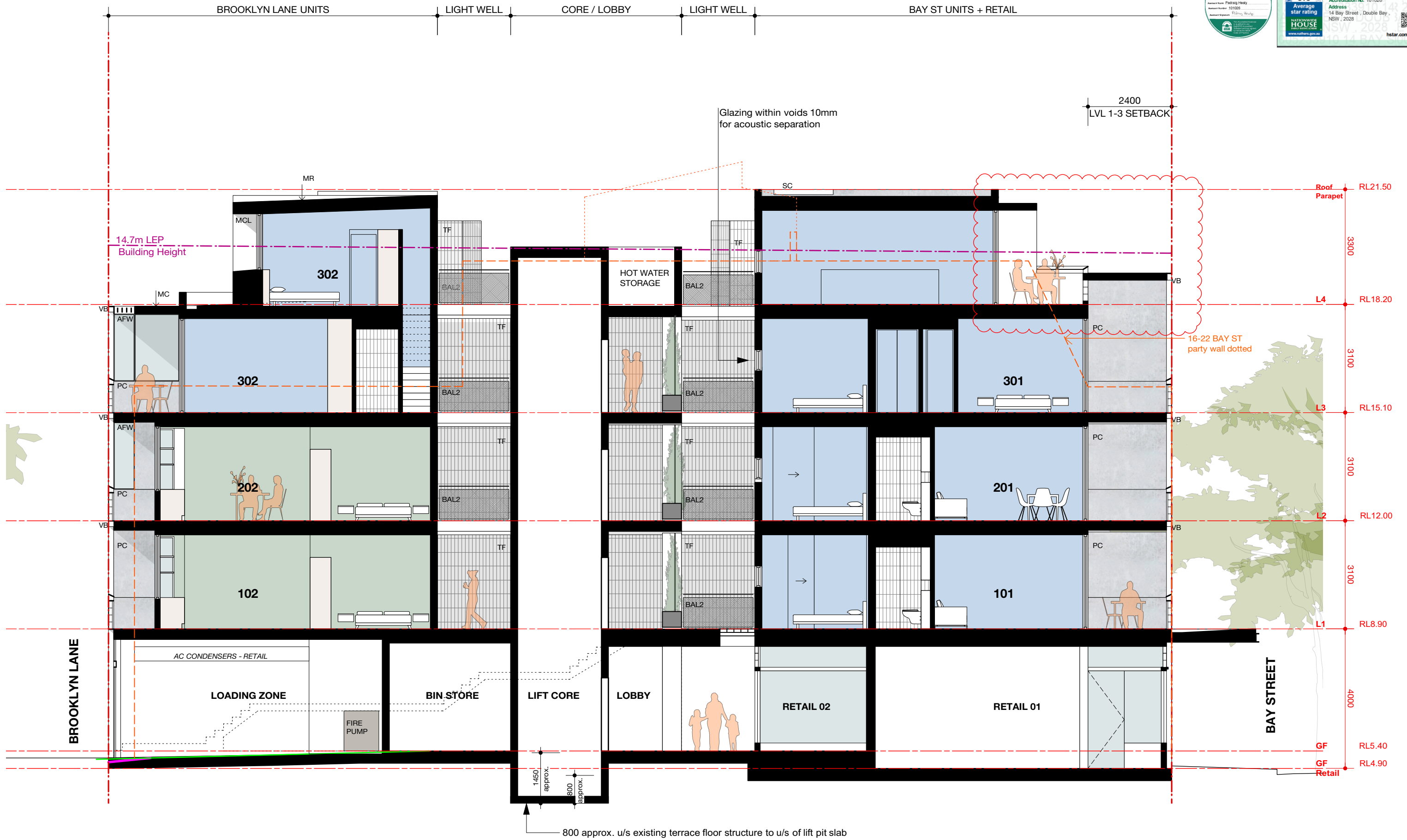
<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>	<div>Use figured dimensions only</div> <div>Do not scale</div> <div>Comply with the Building Code of Australia</div> <div>Comply with the relevant Australian Standards</div> <div>Comply with relevant Authorities' requirements</div>	REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 STEEL POWDERCOAT WITH GB INFILL</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>CLD STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>GB CEMENTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CLAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEELFRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	PROJECT		DRAWING TITLE		
		A	2/9/20	DA SUBMISSION		Bay Street		Elevation - North		
		B	29/4/21	REVISED DA SUBMISSION		14 Bay St, Double Bay				
		C	19/1/22	SECTION 34 CONFERENCE						
		D	5/4/22	Conference of Expert Witnesses						
		F	19/4/22	Joint Report						
		G	27/4/22	Revised terrace to Bay Street						





<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Ave</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalix #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalix and in any work executed from those documents and drawings shall remain the property of Hill Thalix or on creation vest in Hill Thalix</div>	<div>REV</div> <div>A</div> <div>B</div> <div>C</div> <div>D</div> <div>E</div> <div>F</div> <div>G</div>	<div>DATE</div> <div>2/9/20</div> <div>29/4/21</div> <div>19/1/22</div> <div>25/1/22</div> <div>5/4/22</div> <div>19/4/22</div> <div>27/4/22</div>	<div>AMENDMENT</div> <div>DA SUBMISSION</div> <div>REVISED DA SUBMISSION</div> <div>SECTION 34 CONFERENCE</div> <div>UPDATED SECTION 34 CONFERENCE</div> <div>Conference of Expert Witnesses</div> <div>Joint Report</div> <div>Revised terrace to Bay Street</div>	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>CLD STEEL, POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>GB CEMENTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>HR GLASS BLOCKS</div> <div>MR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>LV METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEEL FRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	<div>PROJECT</div> <div>Bay Street</div> <div>14 Bay St, Double Bay</div> <div>CLIENT</div> <div>Halepa Holdings</div>	<div>DRAWING TITLE</div> <div>Elevation - South</div>			
						JOB NO	DRAWN	SCALE	DRAWING NO.
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						DATE	CHECKED	PLOT DATE	REVISION
						Sept 2020	PT	27/4/22	G

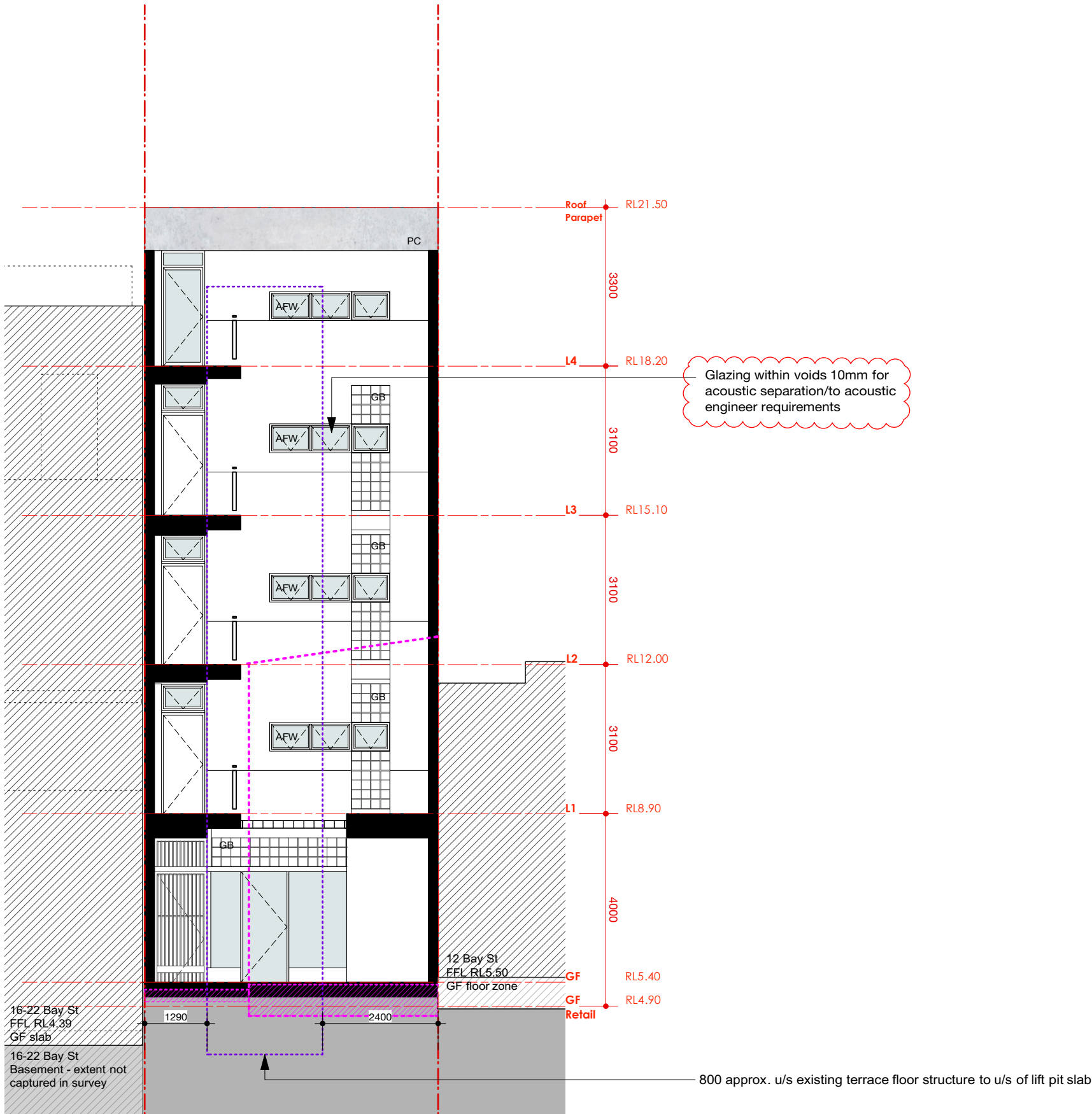




<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68-72 Wentworth Drive</div> <div>Surry Hills, NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright In all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>		REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>STEEL POWDERCOAT WITH GB INFILL</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>CEMENTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEEL FRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	PROJECT		DRAWING TITLE	
		A	2/9/20	DA SUBMISSION		Bay Street		Section A	
		B	8/12/20	ISSUE FOR COUNCIL - EXCAVATION		14 Bay St, Double Bay		JOB NO	
		C	29/4/21	REVISED DA SUBMISSION				19.53	DRAWN
		D	19/1/22	SECTION 34 CONFERENCE				MR	SCALE
		E	25/1/22	UPDATED SECTION 34 CONFERENCE				1:100@A3	DRAWING NO.
		F	5/4/22	Conference of Expert Witnesses				DA 3.04	
		G	19/4/22	Joint Report					
F	19/4/22	Revised terrace to Bay Street							
G	27/4/22								
</									



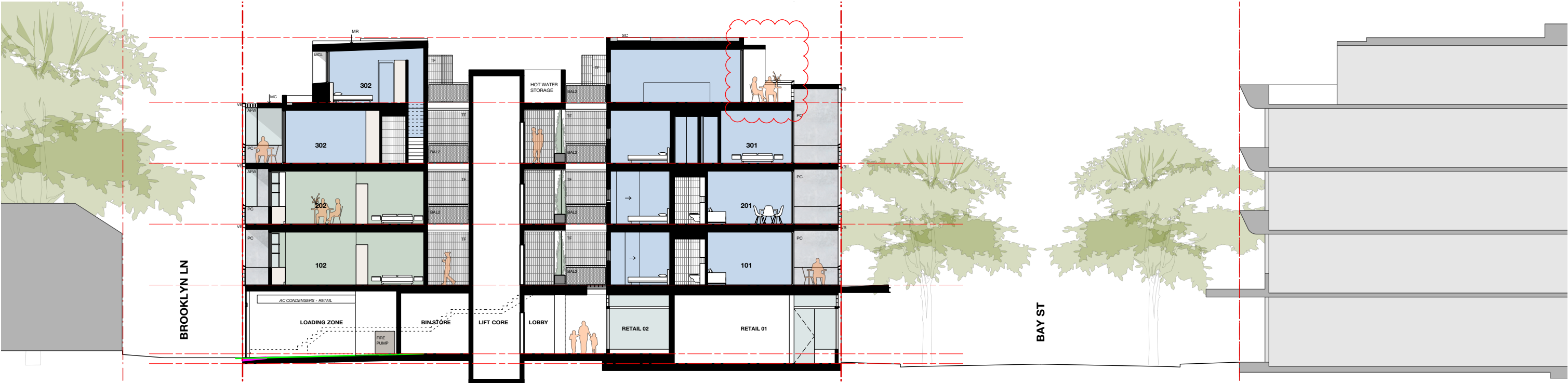
SECTION B



- outline of original DA submission
- outline of lift core behind
- outline of existing terrace and existing ground line
- terrace floor structure zone

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY LTD</div> <div>LEVEL 4, 68-72 Wentworth Ave</div> <div>Sydney NSW 2010 Australia</div> <div>T 02 9211 4274 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalis #4780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div> <div><div>Use figured dimensions only</div><div>Do not scale</div><div>Comply with the Building Code of Australia</div><div>Comply with the relevant Australian Standards</div><div>Comply with relevant Authorities' requirements</div></div>	REV	DATE	AMENDMENT	MATERIALS LEGEND				PROJECT		DRAWING TITLE			
	A	2/9/20	DA SUBMISSION	<div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 STEEL POWDERCOAT WITH GB INFILL</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>CLD STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>CLD CEMENTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEEL FRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	Section B								
	B	8/12/20	ISSUE FOR COUNCIL - EXCAVATION		JOB NO	DRAWN	SCALE	DRAWING NO.					
	C	29/4/21	REVISED DA SUBMISSION		19.53	MR	1:100@A3	DA 3.05					
	D	19/1/22	SECTION 34 CONFERENCE		CLIENT	CHECKED	PLOT DATE	REVISION					
	E	25/1/22	UPDATED FOR SECTION 34 CONFERENCE	Halepa Holdings		Sept 2020		PT		19/4/22		F	
	F	19/4/22	Joint Report										





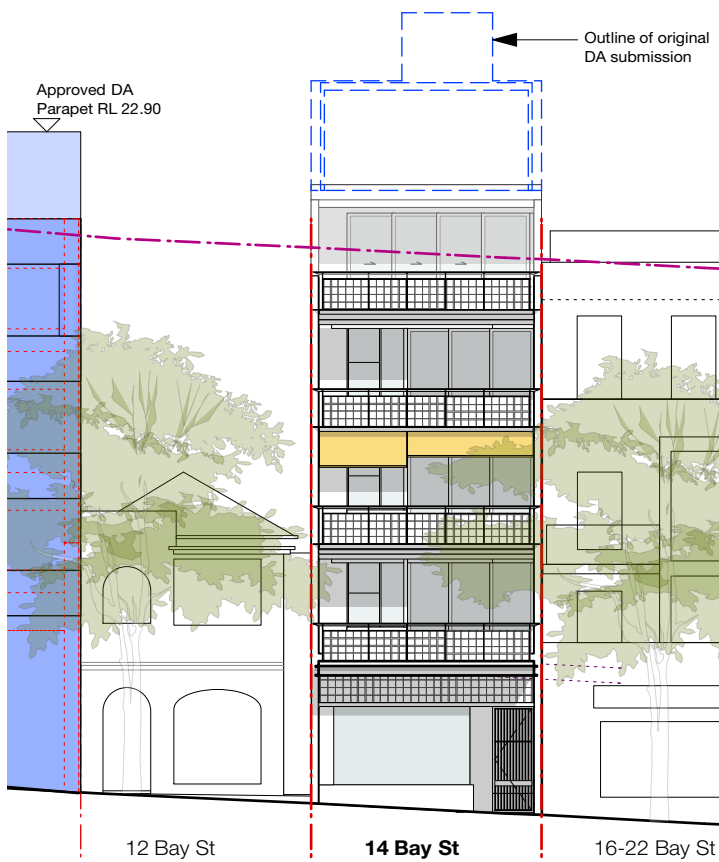
12 Henrietta St

14 Bay St

21-27 Bay St  
DA approved 5-storey commercial building

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalix #6780 Sarah HIB #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalix and in any work executed from those documents and drawings shall remain the property of Hill Thalix or on creation vest in Hill Thalix</div>	<div>Use figured dimensions only</div> <div>Do not scale</div> <div>Comply with the Building Code of Australia</div> <div>Comply with the relevant Australian Standards</div> <div>Comply with relevant Authorities' requirements</div>	REV	DATE	AMENDMENT	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>BAL2 STEEL POWDERCOAT WITH GB INFILL</div> <div>BAL3 BALUSTRADE TO NCC</div> <div>CLD STEEL POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>GB CEMENT/TEL SURROUND, WHITE-BASE FC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R PRECAST CONCRETE, RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEEL FRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	PROJECT		DRAWING TITLE					
		A	19/1/22	SECTION 34 CONFERENCE		Bay Street		Section A - Extended		JOB NO	DRAWN	SCALE	DRAWING NO.
		F	19/4/22	Joint Report		14 Bay St, Double Bay		DA 3.06		19.53	MR	1:100@A3	
		G	29/4/22	Revised terrace to Bay Street		Halepa Holdings				DATE	CHECKED	PLOT DATE	REVISION
										Sept 2020	PT	28/4/22	G

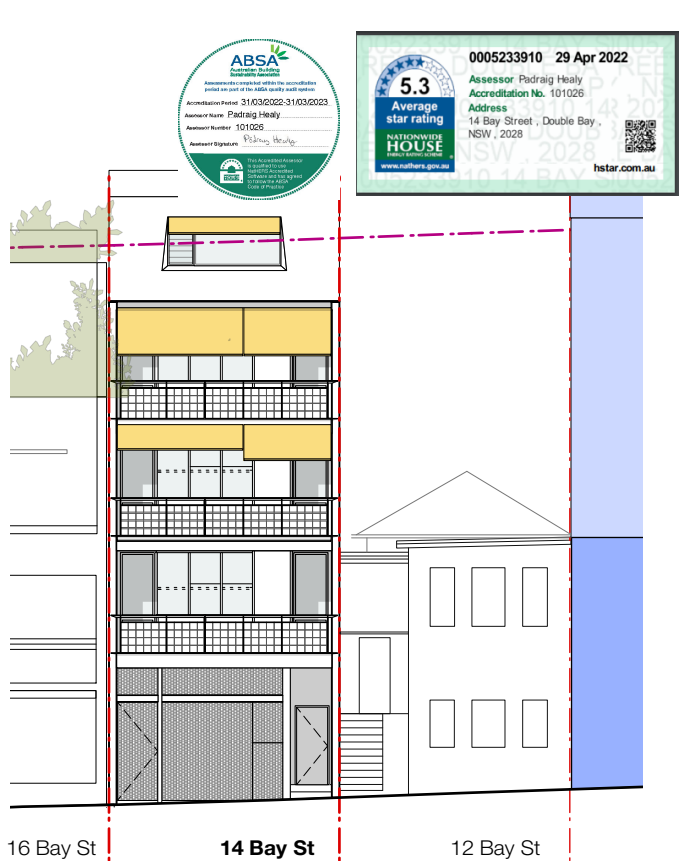
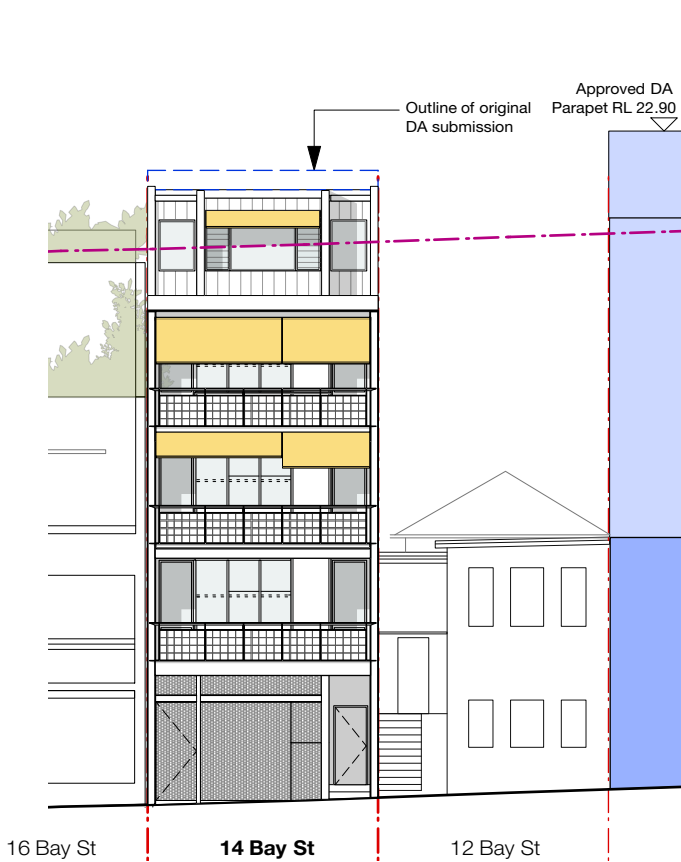




Revised Proposal

Original Proposal

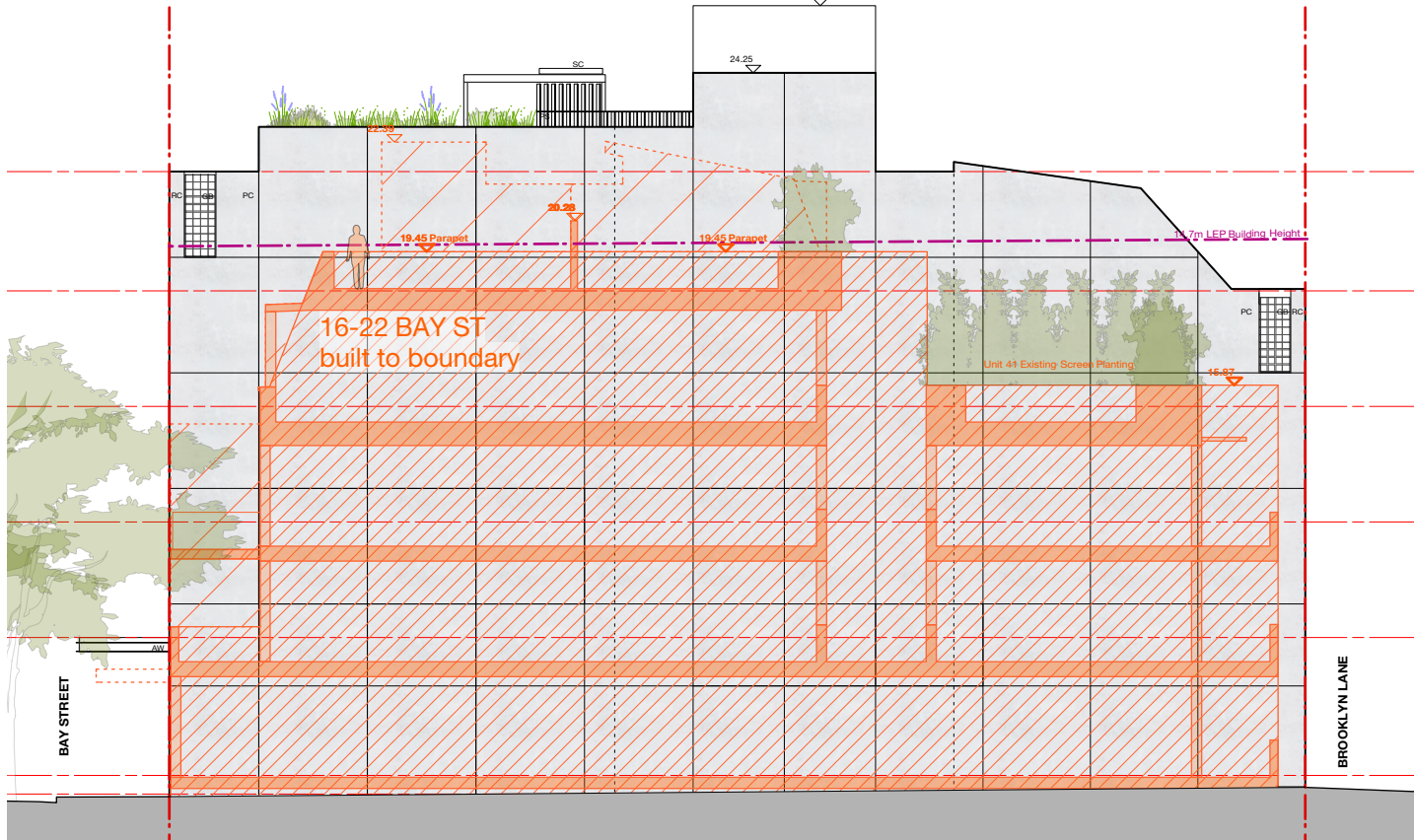
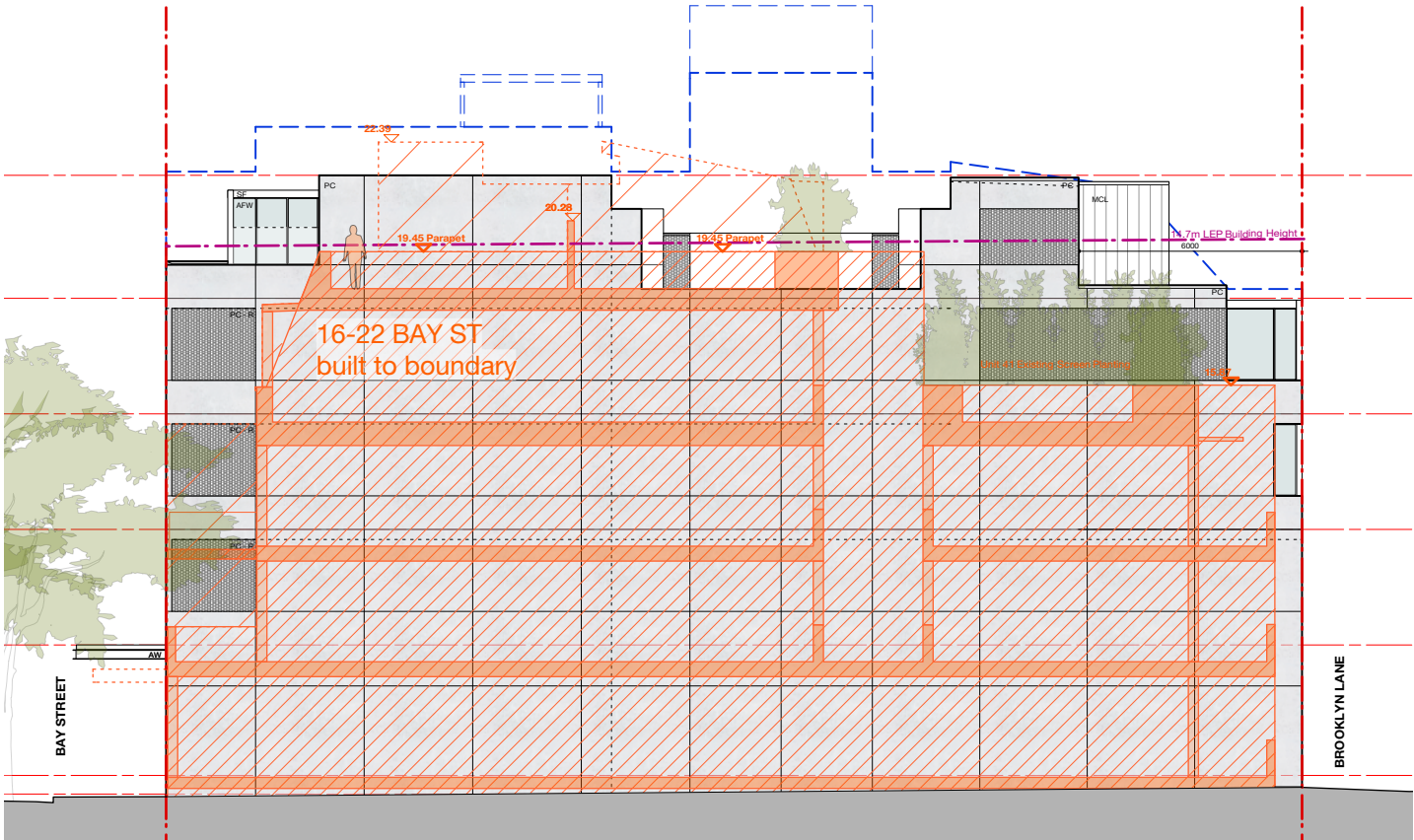
BAY STREET ELEVATION



Revised Proposal

Original Proposal

BROOKLYN LANE ELEVATION



Revised Proposal

Original Proposal

NORTH ELEVATION

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY LTD</div> <div>LEVEL 4, 68-72 Wentworth Ave Sydney NSW 2010 Australia T 02 9211 4274 F 02 9281 3171 E admin@hillthalis.com.au www.hillthalis.com.au Nominated Architects: Philip Thalis #4780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalis and in any work executed from those documents and drawings shall remain the property of Hill Thalis or on creation vest in Hill Thalis</div>	<div>REV</div> <div>A</div> <div>F</div>	<div>DATE</div> <div>25/1/22</div>	<div>AMENDMENT</div> <div>REQUESTED INFORMATION FOR S34</div> <div>CONFERENCE</div>	<div>MATERIALS LEGEND</div> <div>AFW ALUMINIUM FRAMED WINDOW</div> <div>AW AWNING, STEEL FRAME</div> <div>BAL1 BALUSTRADE TO NCC</div> <div>STEEL, POWDERCOAT WITH GB INFILL</div> <div>BAL2 BALUSTRADE TO NCC</div> <div>STEEL, POWDERCOAT W. STEEL MESH/ROD INFILL</div> <div>CLD CLADDING</div> <div>CEMENTEL SURROUND, WHITE-BASE FC CLADDING</div> <div>GB GLASS BLOCKS</div> <div>HR HANDRAIL TO NCC, POWDERCOATED STEEL</div> <div>MR METAL ROOF</div> <div>LV HORIZONTAL LOUVRES</div> <div>MCL METAL CLADDING</div> <div>MC METAL CAPPING</div> <div>PC PRECAST CONCRETE</div> <div>PC-R RECKLI WAVE TEXTURE</div> <div>PLD PANEL LIFT DOOR</div> <div>RC OFF FORM REINFORCED CONCRETE</div> <div>SC SOLAR COLLECTORS</div> <div>SCR METAL SCREEN MESH</div> <div>SF STEEL FRAME, POWDERCOATED</div> <div>SG STEEL GATE, RODS + FRAME</div> <div>TF TILE FINISH</div> <div>VB VERTICAL FABRIC EXTERNAL BLIND</div>	<div>PROJECT</div> <div>Bay Street</div> <div>14 Bay St, Double Bay</div> <div>CLIENT</div> <div>Halepa Holdings</div>	<div>DRAWING TITLE</div> <div>Elevations - Comparison page</div>			
		<div>19/4/22</div>	<div>Joint Report</div>			<div>JOB NO</div> <div>19.53</div>	<div>DRAWN</div> <div>MR</div>	<div>SCALE</div> <div>1:200@A3</div>	<div>DRAWING NO.</div> <div>DA 3.07</div>
						<div>DATE</div> <div>Sept 2020</div>	<div>CHECKED</div> <div>PT</div>	<div>PLOT DATE</div> <div>19/4/22</div>	<div>REVISION</div> <div>F</div>





external blinds on edge of balcony



steel frame balustrade, glass block infill



concrete and FC cladding



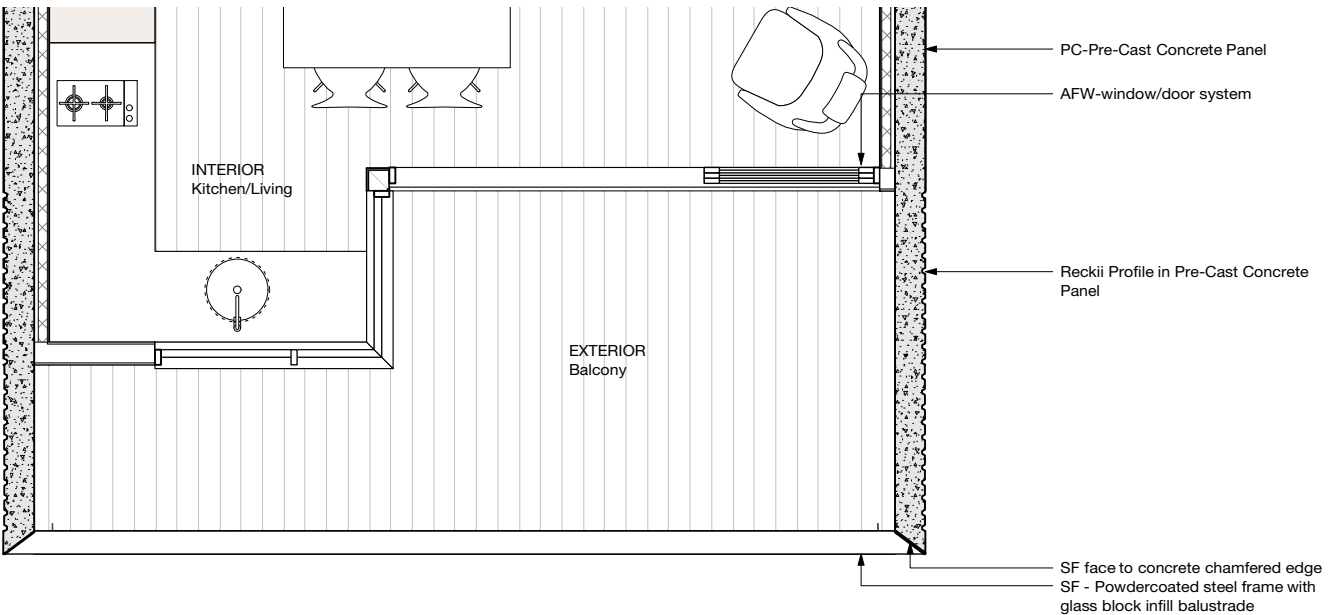
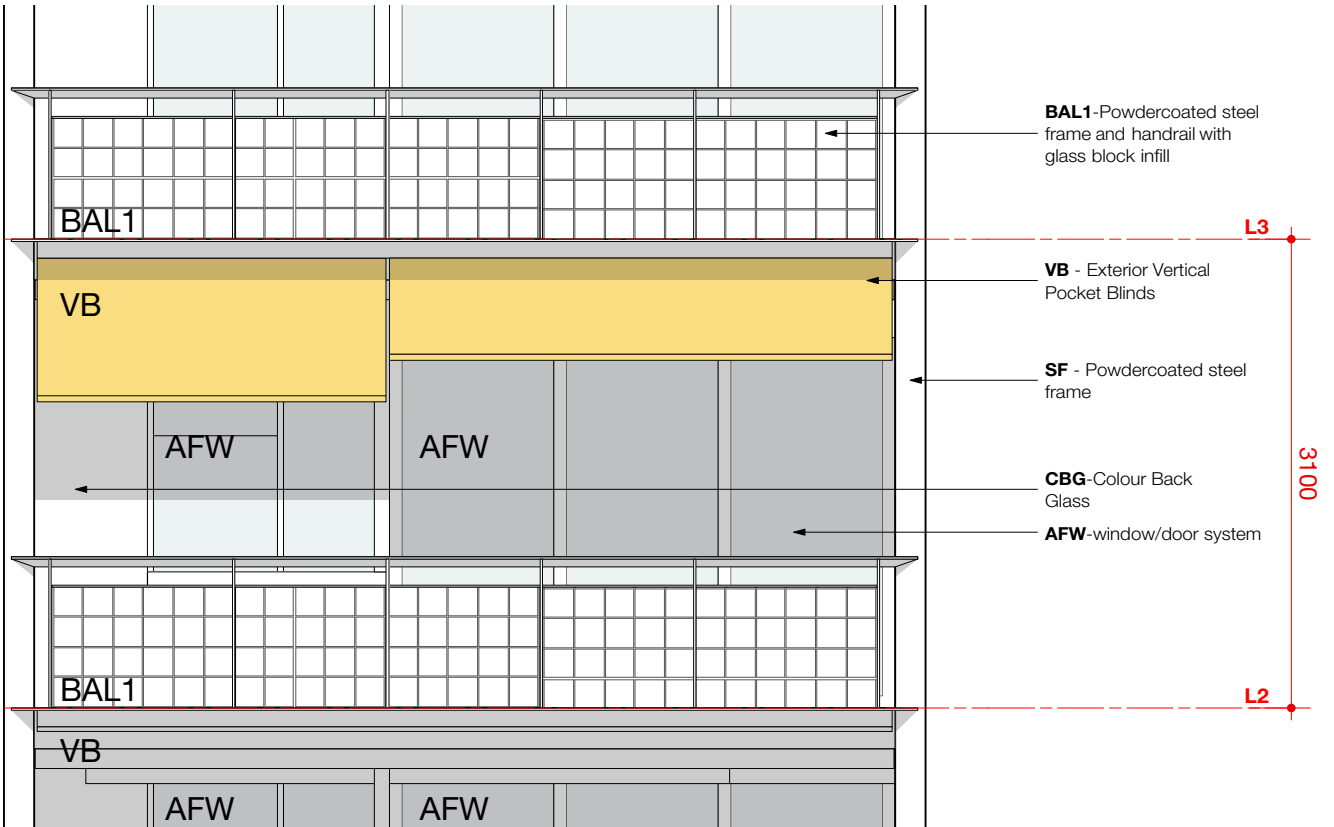
concrete, glass block



reflective inner core



Reckli wave pattern in pre cast panels



LEVEL 2  
PLAN

ARCHITECTS:  
**hill thalis**  
ARCHITECTURE + URBAN PROJECTS PTY  
LEVEL 4, 68/72 Wentworth Drive  
Surry Hills, NSW 2010 Australia  
T 02 9211 6276 F 02 9281 3171  
E admin@hillthalis.com.au www.hillthalis.com.au  
Nominated Architects: Philip Thalys #6780 Sarah H8 #5285

Use figured dimensions only  
Do not scale  
Comply with the Building Code of Australia  
Comply with the relevant Australian Standards  
Comply with relevant Authorised requirements

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REV	DATE	AMENDMENT
A	2/9/20	DA SUBMISSION
B	25/1/22	SECTION 34 CONFERENCE
F	19/4/22	Joint Report
G	29/4/22	Revised terrace to Bay Street

MATERIALS LEGEND	
AFW	ALUMINIUM FRAMED WINDOW
AW	AWNING, STEEL FRAME
BAL1	BALUSTRADE TO NCC
BAL2	STEEL POWDERCOAT WITH GB INFILL
CLD	BALUSTRADE TO NCC
CLD	STEEL POWDERCOAT W. STEEL MESH/ROD INFILL
GB	CLADDING
HR	CEMENTEL SURROUND, WHITE-BASE FC CLADDING
MR	GLASS BLOCKS
LV	HANDRAIL TO NCC, POWDERCOATED STEEL
	METAL ROOF
	HORIZONTAL LOUVRES
MCL	METAL CLADDING
MC	METAL CAPPING
PC	PRECAST CONCRETE
PC-R	PRECAST CONCRETE, RECKLI WAVE TEXTURE
PLD	PANEL LIFT DOOR
RC	OFF FORM REINFORCED CONCRETE
SC	SOLAR COLLECTORS
SCR	METAL SCREEN MESH
SF	STEEL FRAME, POWDERCOATED
SG	STEEL GATE, RODS + FRAME
TF	TILE FINISH
VB	VERTICAL FABRIC EXTERNAL BLIND

PROJECT
<b>Bay Street</b>
14 Bay St, Double Bay
CLIENT
Halepa Holdings

DRAWING TITLE			
<b>Facade Details + Materiality</b>			
JOB NO	DRAWN	SCALE	DRAWING NO.
19.53	MR	1:50@A3	<b>DA 4.00</b>
DATE	CHECKED	PLOT DATE	REVISION
Sept 2020	PT	28/4/22	<b>G</b>





Photomontage part of original DA submission  
Outline of revised proposal shown, approximate



ARCHITECTS:

hill thalis

ARCHITECTURE + URBAN PROJECTS PTY  
LEVEL 4, 68/72 Wentworth Drive  
Surry Hills, NSW 2010 Australia  
T 02 9211 6276 F 02 9281 3171  
E admin@hillthalis.com.au www.hillthalis.com.au  
Nominated Architects: Philip Thalis #6780 Sarah Hill #5285

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Do not scale

Comply with the Building Code of Australia

Comply with the relevant Australian Standards

Comply with relevant Authority requirements

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REV	DATE	AMENDMENT
A	2/9/20	DA SUBMISSION
F	19/4/22	Joint Report
G	29/4/22	Revised terrace to Bay Street

MATERIALS LEGEND			
AFW	ALUMINIUM FRAMED WINDOW	MCL	METAL CLADDING
AW	AWNING, STEEL FRAME	MC	METAL CAPPING
BAL1	BALUSTRADE TO NCC	PC	PRECAST CONCRETE
	STEEL POWDERCOAT W. STEEL MESH/ROD INFILL	PC-R	PRECAST CONCRETE, RECKLI WAVE TEXTURE
BAL2	BALUSTRADE TO NCC	PLD	PANEL LIFT DOOR
	STEEL POWDERCOAT W. STEEL MESH/ROD INFILL	RC	OFF FORM REINFORCED CONCRETE
CLD	CLADDING	SC	SOLAR COLLECTORS
GB	CEMENTEL SURROUND, WHITE-BASE FC CLADDING	SCR	METAL SCREEN MESH
	GLASS BLOCKS	SF	STEEL FRAME, POWDERCOATED
HR	HANDRAIL TO NCC, POWDERCOATED STEEL	SG	STEEL GATE, RODS + FRAME
MR	METAL ROOF	TF	TILE FINISH
LV	HORIZONTAL LOUVRES	VB	VERTICAL FABRIC EXTERNAL BLIND

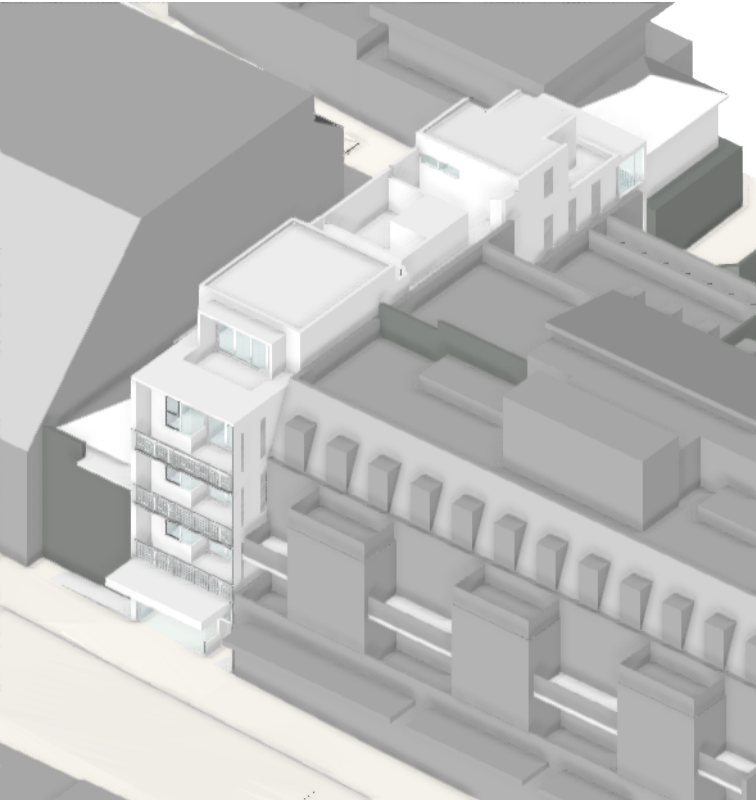
PROJECT
Bay Street
14 Bay St, Double Bay
CLIENT
Halepa Holdings

DRAWING TITLE			
Photomontage			
JOB NO	DRAWN	SCALE	DRAWING NO.
19.53	MR	NTS	DA 4.01
DATE	CHECKED	PLOT DATE	REVISION
Sept 2020	PT	28/4/22	G



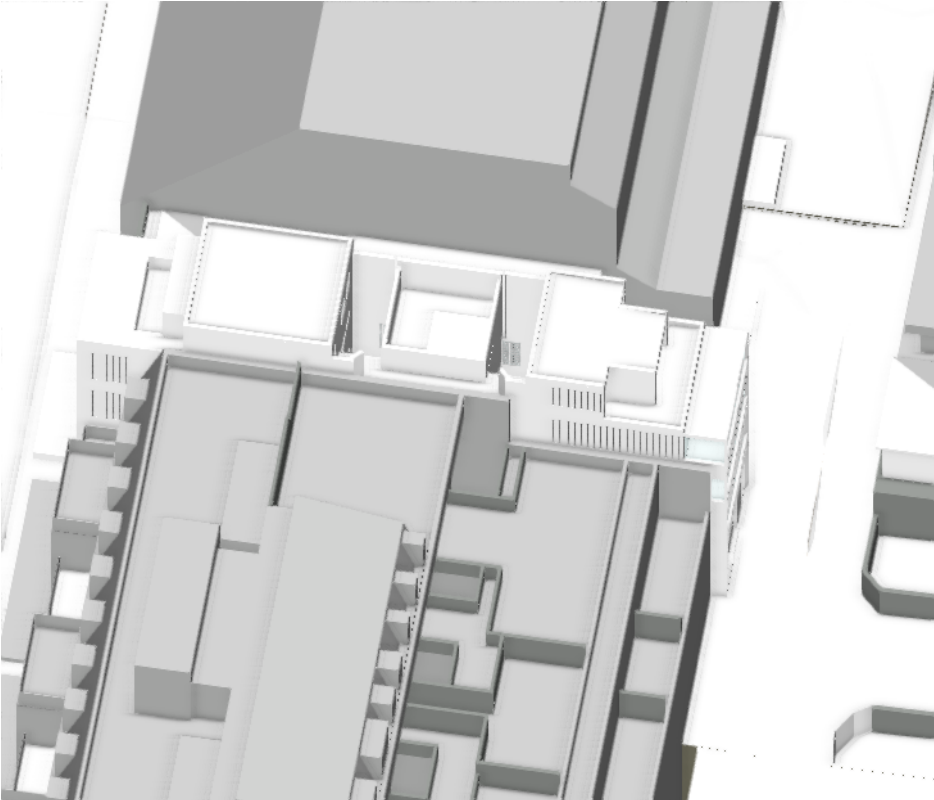
EQUINOX

9AM

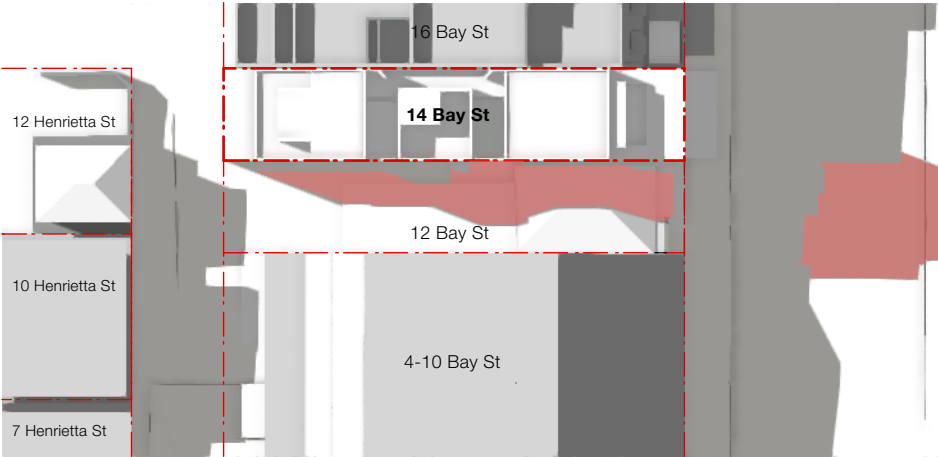
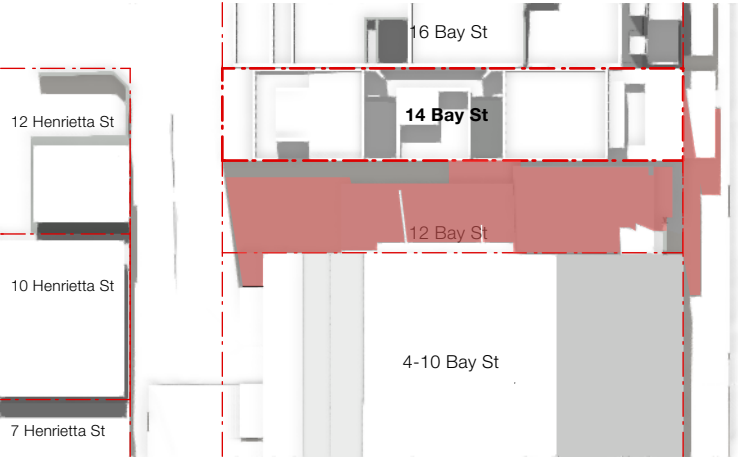
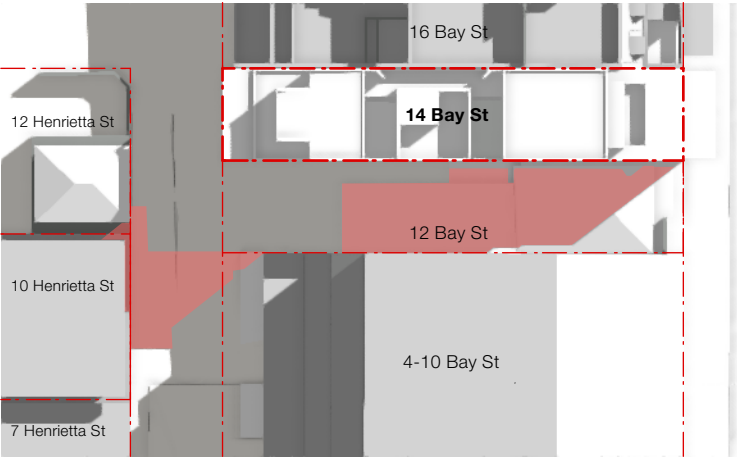
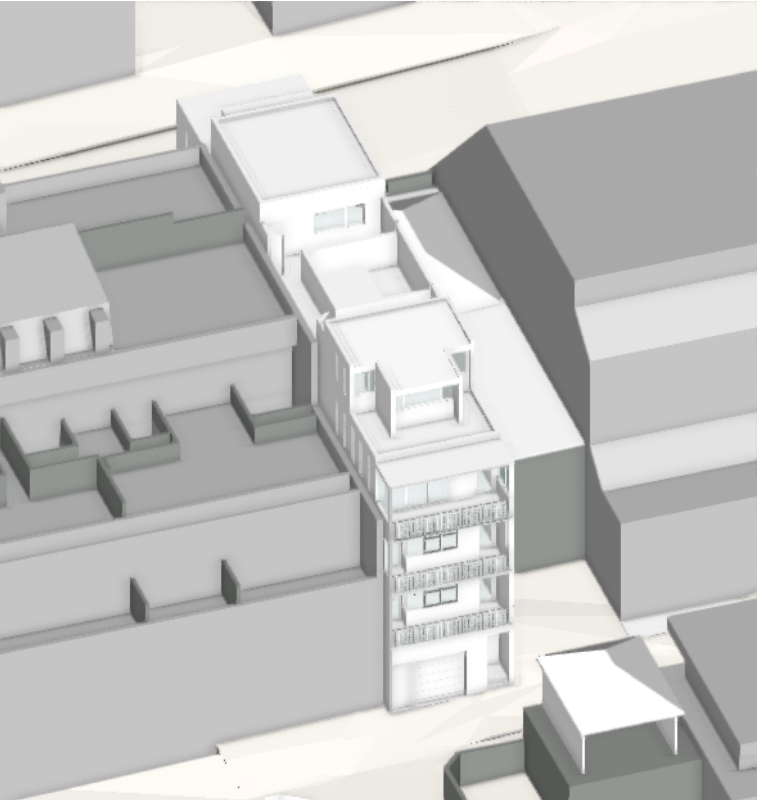


view from sun  
axonometric

12PM



3PM



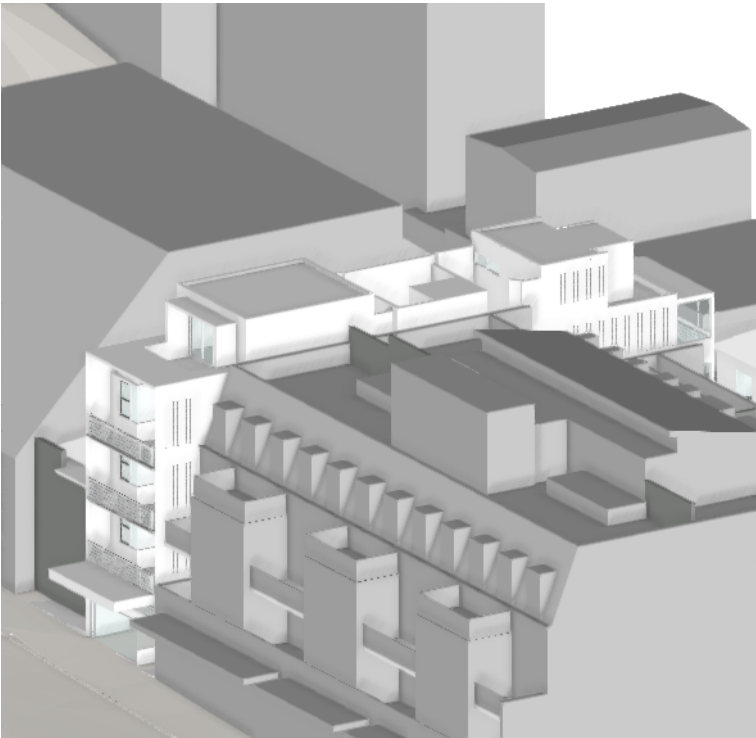
shadows in plan  
existing (grey) + new (red)

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 62 9211 6276 F 62 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>	<div><div>Use figured dimensions only</div><div>Do not scale</div><div>Comply with the Building Code of Australia</div><div>Comply with the relevant Australian Standards</div><div>Comply with relevant Authorities' requirements</div></div>	REV	DATE	AMENDMENT	<div><div><div>ABSA</div><div>Accreditation No. 101026</div><div>Assessor: Padraig Healy</div><div>Address: 14 Bay Street, Double Bay, NSW, 2028</div><div>hstar.com.au</div></div><div><div>5.3</div><div>Average star rating</div><div>NATIONWIDE HOUSE</div><div>2022</div><div>0005233910 29 Apr 2022</div><div>Assessor: Padraig Healy</div><div>Accreditation No. 101026</div><div>Address: 14 Bay Street, Double Bay, NSW, 2028</div><div>hstar.com.au</div></div></div>	PROJECT		DRAWING TITLE	
		A	2/9/20	DA SUBMISSION		Bay Street		Shadows - Equinox	
		B	29/4/21	REVISED DA SUBMISSION		14 Bay St, Double Bay		JOB NO	DRAWN
		G	28/4/22	Joint Report with Revised terrace to Bay Street		CLIENT	Halepa Holdings	19.53	SCALE
									1:500@A3
						28/4/22	DA 5.01		
							REVISION		
							G		



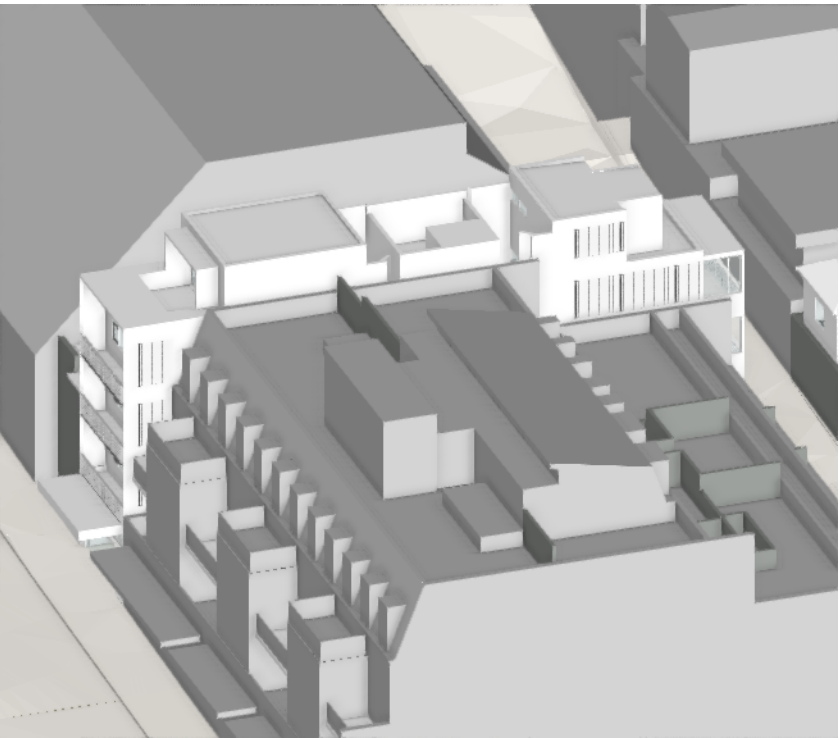
JUNE 21

9AM

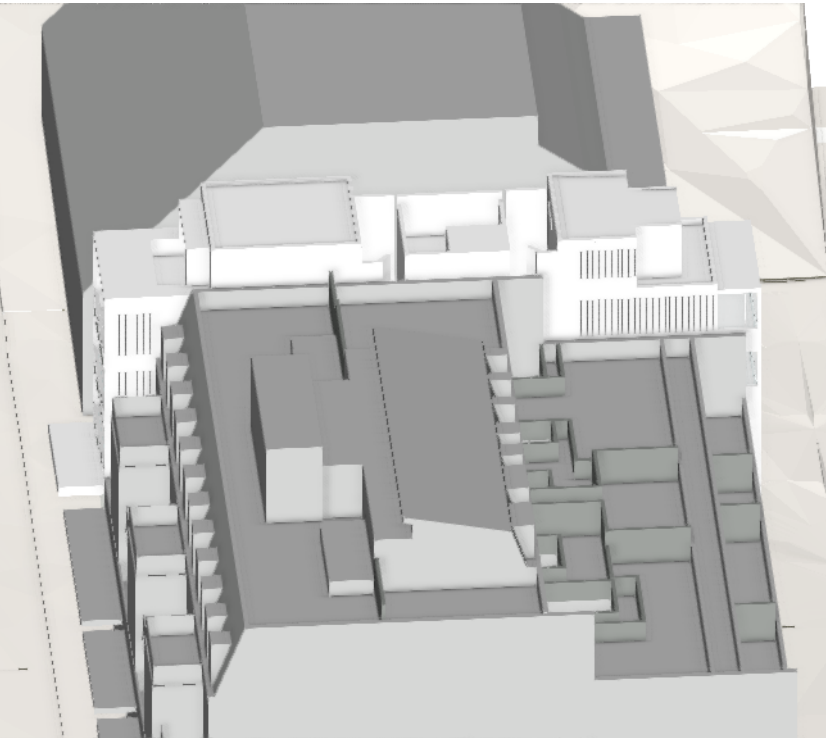


view from sun  
axonometric

10AM



11AM



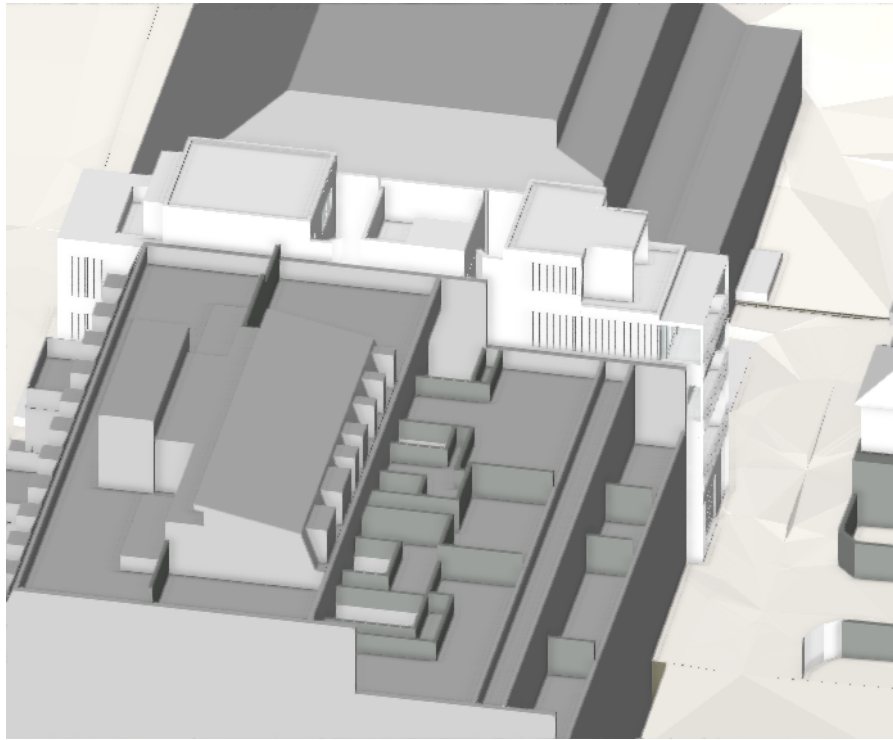
shadows in plan  
existing (grey) + new (red)



<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68/72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 62 9211 6276 F 62 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>	<div>Use figured dimensions only</div> <div>Do not scale</div> <div>Comply with the Building Code of Australia</div> <div>Comply with the relevant Australian Standards</div> <div>Comply with relevant Authorities' requirements</div>	REV	DATE	AMENDMENT	<div><div>ABSAAustralia's Building Standards Authority</div><div>Assessments completed within the accreditation period are part of the ABSA quality seal system</div><div>Accreditation Period: 31/03/2022-31/03/2023</div><div>Assessor's Name: Patricia Healy</div><div>Assessment Number: 101026</div><div>Assessment Signatory: Patricia Healy</div><div>The Australian Government</div><div>Department of Infrastructure, Transport, Regional Development and Communications</div><div>Infrastructure Australia</div></div> <div><div>5.3</div><div>Average star rating</div><div>NATIONWIDHOUSE</div><div>NSW 2028</div><div>0005233910 29 Apr 2022</div><div>Assessor: Patricia Healy</div><div>Accreditation No.: 101026</div><div>Address: 14 Bay Street, Double Bay, NSW, 2028</div><div>hstar.com.au</div></div>	PROJECT	DRAWING TITLE		
		A	24/9/21	For Information		Bay Street			
		B	17/1/22	Revised model to 10 Henrietta st		14 Bay St, Double Bay			
		F	19/4/22	Joint Report		CLIENT	Halepa Holdings		
		G	28/4/22	Revised Terrace to Bay Street					
		JOB NO	DRAWN			SCALE	DRAWING NO.		
		19.53				1:500@A3	DA 5.02		
		DATE	CHECKED			PLOT DATE	REVISION		
						28/4/22	G		

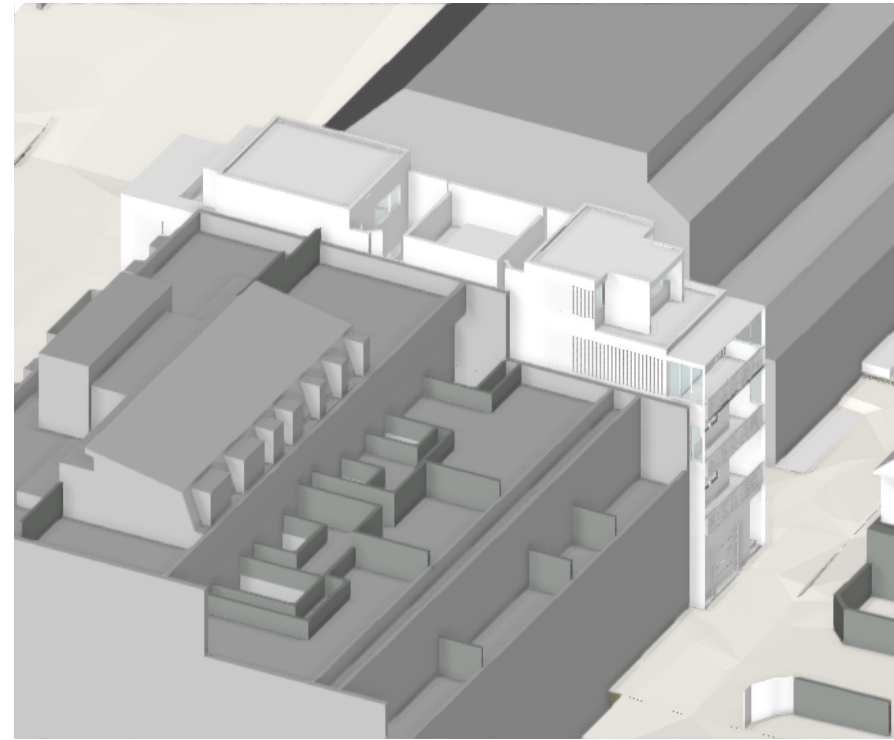


**12PM**

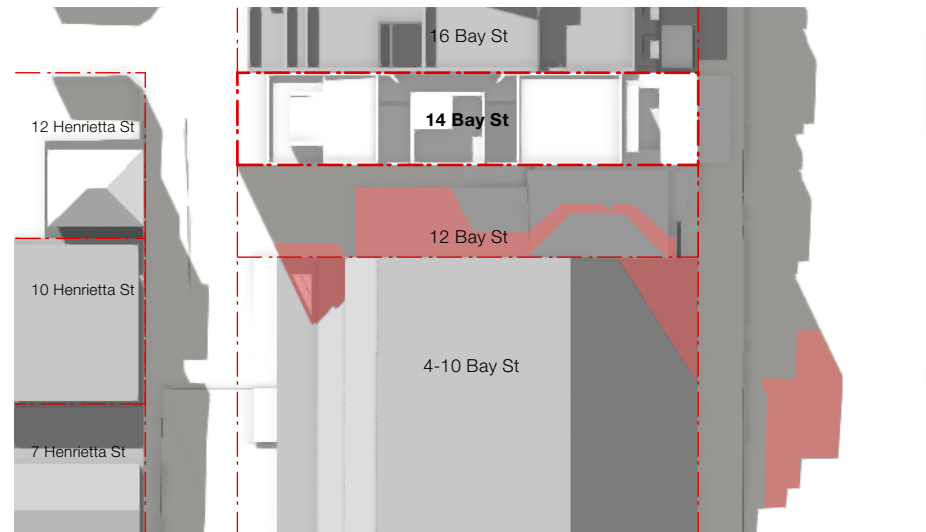


view from sun  
axonometric

**1PM**



shadows in plan  
existing (grey) + new (red)

[illegible]









Existing View



View with Outline of Approved DA (2-10 Bay Street)



View with Outline of Proposed DA (14 Bay Street) and Approved DA (2-10 Bay Street)

Issue G - Revised terrace to Bay Street  
View SE from Eastern Terrace

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68-72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalys #6780 Sarah Hill #5285</div> <div><div>Use figured dimensions only</div><div>Do not scale</div><div>Comply with the Building Code of Australia</div><div>Comply with the relevant Australian Standards</div><div>Comply with relevant Authorities' requirements</div></div> <div>© Copyright in all documents and drawings prepared by Hill Thalys and in any work executed from those documents and drawings shall remain the property of Hill Thalys or on creation vest in Hill Thalys</div>	REV	DATE	AMENDMENT	<div><div><div>ABSAAustralian Building Standards Australia</div><div>Accreditation Number: 31-03-0000-31-03-0003</div><div>Assessor Name: Padraig Healy</div><div>Assessment Number: 101026</div><div>Assessment Signature: Padraig Healy</div></div><div><div>5.3Average star rating</div><div>NATIONWIDHOUSE</div><div>0005233910 29 Apr 2022</div><div>Assessor: Padraig Healy</div><div>Accreditation No. 101026</div><div>Address</div><div>14 Bay Street, Double Bay</div><div>NSW, 2028</div><div>hstar.com.au</div></div></div>	PROJECT		DRAWING TITLE			
	F	19/4/22	Joint Report		Bay Street		View Analysis 1 - Unit 4.1 Terrace East			
	G	28/4/22	Revised terrace to Bay Street		14 Bay St, Double Bay		JOB NO	DRAWN		
					CLIENT		SCALE	DRAWING NO.		
							Halepa Holdings		NTS	DA 6.00
									DATE	REVISION
									CHECKED	
									PLOT DATE	
									28/4/22	G





Existing View



View with Outline of Proposed DA (14 Bay Street) and Approved DA (21-27 Bay Street)

<div>ARCHITECTS:</div> <div>hill thalis</div> <div>ARCHITECTURE + URBAN PROJECTS PTY</div> <div>LEVEL 4, 68-72 Wentworth Drive</div> <div>Surry Hills NSW 2010 Australia</div> <div>T 02 9211 6276 F 02 9281 3171</div> <div>E admin@hillthalis.com.au www.hillthalis.com.au</div> <div>Nominated Architects: Philip Thalix #6780 Sarah H8 #5285</div> <div>© Copyright In all documents and drawings prepared by Hill Thalix and in any work executed from those documents and drawings shall remain the property of Hill Thalix or on creation vest in Hill Thalix</div>		REV	DATE	AMENDMENT	<div><div><div>ABSA</div><div>Accredited</div><div>Assessor: Padraig Healy</div><div>Accreditation No. 101026</div><div>Address: 14 Bay Street, Double Bay, NSW, 2028</div><div>Assessor's Signature: Padraig Healy</div><div>www.hillthalis.com.au</div></div><div><div>5.3</div><div>Average star rating</div><div>NATIONWIDE HOUSE</div><div>2028</div><div>www.hillthalis.com.au</div></div></div>	PROJECT		DRAWING TITLE	
		F	19/4/22	Joint Report		Bay Street		View Analysis 2 - Unit 4.1 Terrace East	
		G	28/4/22	Revised terrace to Bay Street		14 Bay St, Double Bay		JOB NO	DRAWN
						CLIENT		SCALE	DRAWING NO.
					Halepa Holdings			NTS	DA 6.01
							DATE	CHECKED	REVISION
							28/4/22		G



# Nationwide House Energy Rating Scheme — Class 2 summary

## NatHERS Certificate No. 0005233910

Generated on 29 Apr 2022 using BERS Pro v4.4.1.5 (3.21)

### Property

**Address** 14 Bay Street , Double Bay ,  
NSW , 2028

**Lot/DP** 18/4606

**NatHERS climate zone** 56

**Accredited assessor** 

Padraig Healy

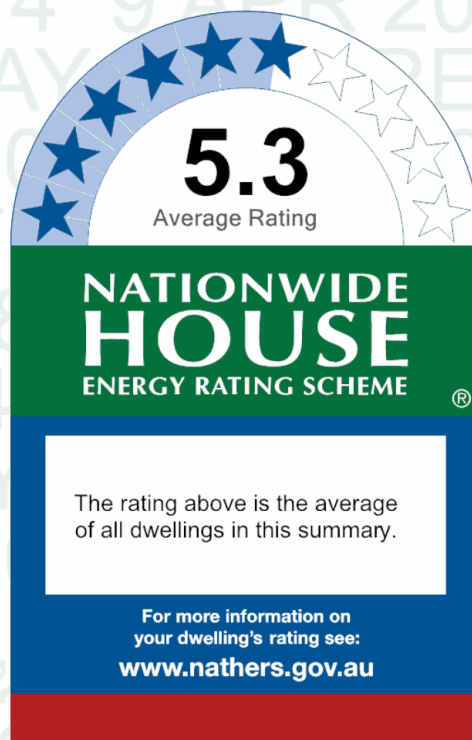
Credwell Energy

phealy@credwell.com.au

0498051209

**Accreditation No.** 101026

**Assessor Accrediting Organisation** ABSA



### Verification

To verify this certificate, scan the QR code or visit [hstar.com.au/QR/Generate?p=iMqbXjXna](http://hstar.com.au/QR/Generate?p=iMqbXjXna).  
When using either link, ensure you are visiting [hstar.com.au](http://hstar.com.au)

### Summary of all dwellings

Certificate number and link	Unit Number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
<a href="#">0007677974</a>	101	39.9	28.1	68	4.9
<a href="#">0007677982</a>	102	41.9	24.1	66	4.9
<a href="#">0007678055</a>	201	39.6	24.9	64.4	5.1
<a href="#">0007678063</a>	202	40.1	24.4	64.6	5.1
<a href="#">0007678071-01</a>	301	36.6	15	51.6	5.9

*Continued Over*

### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated buildings are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.



## Summary of all dwellings (continued)

Certificate number and link	Unit Number	Heating load (MJ/m <sup>2</sup> /p.a.)	Cooling load (MJ/m <sup>2</sup> /p.a.)	Total load (MJ/m <sup>2</sup> /p.a.)	Star rating
<a href="#">0007678089</a>	302	39.4	16	55.4	5.7
Average		39.58	22.08	61.67	5.27

## Explanatory Notes

### About this report

This summary rating is the average rating of all NCC Class 2 dwellings in a development. The individual dwellings' ratings are a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate the energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances, or energy production of solar panels. For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

### Accredited Assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO). AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

### Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content, input and creation of the NatHERS Certificate is by the assessor. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.





## BASIX Certificate Summary

ASSESSOR DETAILS	
Name:	Padraig Healy
Direct Number:	0498 051 209
Office:	(02) 9281 8555
AAO:	ABSA
Assessor Number:	101026
Project Name:	E20032
Software:	BERS Pro v4.4.1.5 (3.21)
Date:	29/04/2022
BASIX Certificate Number:	1129546M_02
Group Certificate Number:	0005233910
Client Name:	Maria Alis
Client Phone:	-
Client Email:	-

NCC COMPLIANCE
<b>Building compliance is required to comply with the 'New South Wales Additions' in the NCC 2017- Volume 1.</b>
<ul style="list-style-type: none"><li>• Building thermal construction in accordance with part J1.2</li><li>• If metal, framed sarking of R0.2 is required between stud and cladding as a thermal break</li><li>• Loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)</li><li>• Any roof lights, windows, doors and exhaust fans are sealed in accordance with Part J3</li><li>• Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) &amp; J5.2(g)</li><li>• Any new mechanical ventilation system is installed in accordance with Part J5.3.</li><li>• Any new miscellaneous exhaust system is installed in accordance with Part J5.4.</li><li>• Any new heated hot water system is installed in accordance with Part J7.2</li><li>• Any new energy monitoring equipment is installed in accordance with Part J8.3.</li></ul>





**BASIX TECHNICAL NOTES – Defaults if not determined**

- Medium coloured external walls
- Walls to common areas modelled as external with zero solar absorptance
- All ensuites are treated as conditioned
- Spaces without an openable window / door are included in the zone which they are accessed
- No mechanical heating or cooling appliances are modelled, including ceiling fans

**NatHERS TECHNICAL NOTES – Defaults if not determined**

- Models rated with no downlights
- Light coloured roof for temperate or cool climates
- Kitchens / wet areas tiled
- All other internal areas carpet
- Sealed vents to wet areas / laundry / kitchen
- Single story dwellings within 10m modelled as obstruction
- Double story dwellings within 20m modelled as obstruction
- Structures located at South are not modelled as obstruction



**BASIX Certificate Commitments:**

Water	Pass - 40%
Rainwater Tank:	1000L
Landscape connection:	Yes
Water Taps:	6-stars
Showerheads:	3-stars (4.5-6 L/min)
Toilet Flusher:	4-stars
Dishwasher:	5-star dishwasher

Thermal Comfort	Pass - 5.5 Star Overall Average	
Glazing:	Fixed/Sliding Glazing	Awning/Bi-Fold
	Units: 301	Units: 301
	Thermal Specs: U-value 4.3 & SHGC 0.53 (+/- 10%)	Thermal Specs: U-value 4.3 & SHGC 0.47 (+/- 10%)
	Units: All other units	Units: All other units
	Thermal Specs: U-value 5.4 & SHGC 0.58 (+/- 10%)	Thermal Specs: U-value 5.4 & SHGC 0.49 (+/- 10%)
External Walls:	Type: Concrete	Insulation: R2.5 bulk insulation
Internal Walls:	Type: Stud	Insulation: Nil
Ceiling Cavity:	Type: Plasterboard	Insulation: R4.0 bulk insulation
Exposed Roof:	Type: Concrete	Insulation: Nil

Energy	Pass - 35%	
Common Areas:	Lighting	LED's throughout with motion sensors
	Lifts	VVVF motor
	Ventilation	Exhaust only to Acc WC and bin store
	Hot Water	Solar – electric boosted (5m2 solar collector)
Dwellings:	Heating/Cooling	Ceiling fans only to living rooms
	Lighting	-
	Ventilation	Laundry & WC fan ducted to façade and interlocked to light Kitchen fan ducted to façade with manual switch
	Appliances	Electric cooktop & electric oven; 3-star dishwashers 2-stars dryers
	Fridge Space	Well ventilated
	Photovoltaics	3.1 peak kW's



# BASIX<sup>®</sup>Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

## Multi Dwelling

Certificate number: 1129546M\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

This certificate is a revision of certificate number 1129546M lodged with the consent authority or certifier on 05 November 2020 with application 449/2020.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary

Date of issue: Friday, 29 April 2022

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,  
Industry &  
Environment

### Project summary

Project name	E20032-14 Bay Street_02
Street address	14 Bay Street Double Bay 2028
Local Government Area	Woollahra Municipal Council
Plan type and plan number	deposited 4606
Lot no.	18
Section no.	-
No. of residential flat buildings	1
No. of units in residential flat buildings	6
No. of multi-dwelling houses	0
No. of single dwelling houses	0

### Project score

Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 35	Target 35

### Certificate Prepared by

Name / Company Name: Credwell Energy

ABN (if applicable): 625598352



# Description of project

## Project address

Project name	E20032-14 Bay Street_02
Street address	14 Bay Street Double Bay 2028
Local Government Area	Woollahra Municipal Council
Plan type and plan number	deposited 4606
Lot no.	18
Section no.	-

## Project type

No. of residential flat buildings	1
No. of units in residential flat buildings	6
No. of multi-dwelling houses	0
No. of single dwelling houses	0

## Site details

Site area (m <sup>2</sup> )	183.4
Roof area (m <sup>2</sup> )	100
Non-residential floor area (m <sup>2</sup> )	47.0
Residential car spaces	0
Non-residential car spaces	0




## Common area landscape

Common area lawn (m <sup>2</sup> )	0.0
Common area garden (m <sup>2</sup> )	12.0
Area of indigenous or low water use species (m <sup>2</sup> )	8.4

## Assessor details

Assessor number	101056
Certificate number	0005233910
Climate zone	56
Ceiling fan in at least one bedroom	No
Ceiling fan in at least one living room or other conditioned area	No

## Project score

Water	 40	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 35	Target 35



## Description of project

The tables below describe the dwellings and common areas within the project

### Residential flat buildings - Building1, 6 dwellings, 5 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
101	1	52.0	0.0	0.0	0.0
302	1	54.8	2.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
102	1	40.8	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
201	1	52.0	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
202	1	40.8	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m <sup>2</sup> )	Unconditioned floor area (m <sup>2</sup> )	Area of garden & lawn (m <sup>2</sup> )	Indigenous species (min area m <sup>2</sup> )
301	2	90.4	0.0	0.0	0.0



## Description of project

The tables below describe the dwellings and common areas within the project

### Common areas of unit building - Building1

Common area	Floor area (m²)
Loading Zone	31.0
BIN Store	10.6
FS (All levels)	29.1

Common area	Floor area (m²)
Lift car (No.1)	-
Services	3.77

Common area	Floor area (m²)
ACC WC	5.9
Entry & hallways	110.0



# Schedule of BASIX commitments

## 1. Commitments for Residential flat buildings - Building1

### (a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

### (b) Common areas and central systems/facilities

- (i) Water
- (ii) Energy

## 2. Commitments for multi-dwelling houses

## 3. Commitments for single dwelling houses

## 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy



## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

### 1. Commitments for Residential flat buildings - Building1

#### (a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install:			
(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		✓	✓
(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓



Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 4.5 but <= 6 L/min)	4 star	6 star	6 star	no	-	5 star	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

	Hot water	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	central hot water system 1	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off



Dwelling no.	Cooling		Heating		Artificial lighting						Natural lighting	
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
101, 201, 301	ceiling fans	ceiling fans	-	-	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes
All other dwellings	ceiling fans	ceiling fans	-	-	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	electric cooktop & electric oven	-	yes	3 star	-	2 star	no	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.		✓	
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must:  (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Dwelling no.	Thermal loads	
	Area adjusted heating load (in mJ/m <sup>2</sup> /yr)	Area adjusted cooling load (in mJ/m <sup>2</sup> /yr)
101	39.9	28.1
102	41.9	24.1
201	39.6	24.9
202	40.1	24.4
301	36.6	15.0
All other dwellings	39.4	16.0



**(b) Common areas and central systems/facilities**

<b>(i) Water</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

<b>Common area</b>	<b>Showerheads rating</b>	<b>Toilets rating</b>	<b>Taps rating</b>	<b>Clothes washers rating</b>
All common areas	no common facility	4 star	6 star	no common laundry facility

<b>Central systems</b>	<b>Size</b>	<b>Configuration</b>	<b>Connection (to allow for...)</b>
Central water tank - rainwater or stormwater (No. 1)	1000.0	To collect run-off from at least: - 50.0 square metres of roof area of buildings in the development	- irrigation of 12.0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site
Fire sprinkler system (No. 1)	-	-	-

<b>(ii) Energy</b>	<b>Show on DA plans</b>	<b>Show on CC/CDC plans &amp; specs</b>	<b>Certifier check</b>
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area	Common area ventilation system		Common area lighting		
	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS
Loading Zone	no mechanical ventilation	-	light-emitting diode	motion sensors	No
Lift car (No.1)	-	-	light-emitting diode	connected to lift call button	No
ACC WC	ventilation exhaust only	-	light-emitting diode	motion sensors	No
BIN Store	ventilation exhaust only	-	light-emitting diode	motion sensors	No
Services	no mechanical ventilation	-	light-emitting diode	manual on / manual off	No
Entry & hallways	no mechanical ventilation	-	light-emitting diode	motion sensors	No
FS (All levels)	no mechanical ventilation	-	light-emitting diode	motion sensors	No

Central energy systems	Type	Specification
Central hot water system (No. 1)	solar - electric boosted	Solar collector area (minimum, in square metres): 5.0 Piping insulation (ringmain & supply risers): (a) Piping external to building: R1.0 (~38 mm); (b) Piping internal to building: R1.0 (~38 mm)
Lift (No. 1)	gearless traction with V V V F motor	Number of levels (including basement): 6



#### 4. Commitments for common areas and central systems/facilities for the development (non-building specific)

##### (b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	4 star	6 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Central energy systems	Type	Specification
Alternative energy supply	Photovoltaic system	Rated electrical output (min): 3.1 peak kW



## Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

## Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).